



## **HISTORIC SITE PRESERVATION BOARD STAFF REPORT**

DATE: March 4, 2025

NEW BUSINESS

SUBJECT: A REQUEST BY THE MEZRAHI TRUST FOR APPROVAL OF A CERTIFICATE OF APPROPRIATENESS - MAJOR FOR ALTERATIONS TO "THE GAS COMPANY BUILDING", A CLASS 1 HISTORIC SITE LOCATED AT 211 NORTH SUNRISE WAY; HSPB #158. (APN 508-070-016). (SY).

FROM: Department of Planning Services

---

### SUMMARY

The owner of this Class 1 historic landmark site is proposing an adaptive reuse project to repurpose the existing building from a public utility use to a single-family residential use, which is an allowed use in the Medium Density Residential (MR) zone of the Section 14 Specific Plan. Commercial use is not an allowable use by right in the MR zone.

The proposed project is for a five (5) bedroom single-family residence with a detached garage. The subject building will remain in its original location with minimal changes proposed to the building footprint. The parcel on which the historic resource is located is 29,508 square feet in size and fronts both Sunrise Way and Andreas Road. Needed exterior repairs as well as new exterior penetrations to the existing walls and new skylights are proposed with this design. New gates, perimeter fence, site improvements, detached patio/walkway covers and a pool are also proposed.

On January 7, 2025, the applicant team received preliminary design feedback from the Historic Site Preservation Board (HSPB).

### RECOMMENDATION:

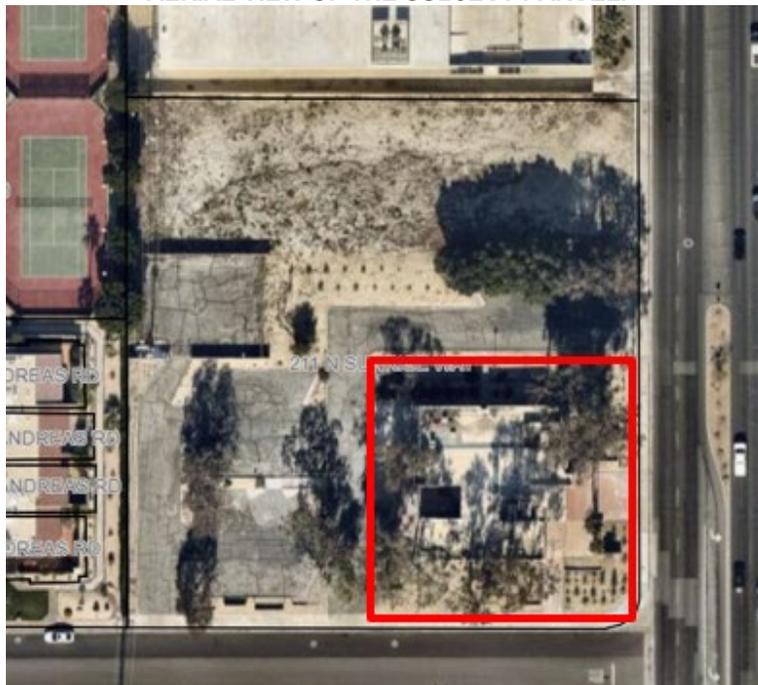
Approve the Certificate of Appropriateness – Major for alterations to adaptively reuse the building as a single-family residence, as proposed with the following condition:

- Provide a maintenance/repair plan for the existing structure as it relates to the concrete surface of the existing structure, to be reviewed by staff prior to building permit issuance. If a surface treatment is recommended to preserve the existing concrete, a mock-up shall be reviewed prior to construction.

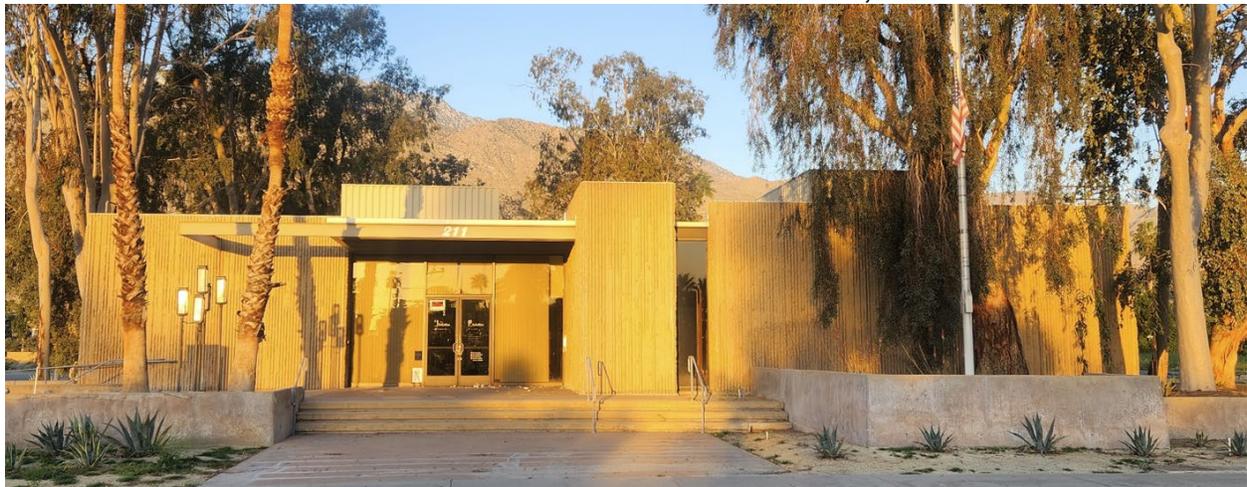
**BACKGROUND AND SETTING:**

The Gas Company Building located at 211 N. Sunrise Way was completed in 1969. Designed by architect Robert Ricciardi. The Brutalist-style building is a notable example from the post-World War II period in Palm Springs when a majority of the architecture reflected Mid-century Modern design principles. The simple rectilinear shaped building is clad in cast-in-place concrete that highlights the exposed aggregate in vertical grooves with a bush-hammered finish. After its completion, Ricciardi received a design award from the American Institute of Architects (AIA) for the design of the building. Other than certain accessibility upgrades that were made to the site, the design of the building remains mostly intact.

**AERIAL VIEW OF THE SUBJECT PARCEL.**



**EAST ELEVATION FROM NORTH SUNRISE WAY, 2024.**



<i>Relevant and Recent Past Actions</i>	
1969	Gas Company Building constructed.
May, 2019	Purchased by the current owner.
March, 2024	Major alteration to Class 3 site was stayed by HSPB and designation proceeds were initiated.
July, 2024	Site was designated as a Class 1 Landmark Site by City Council.
January, 2025	HSPB study session conducted a preliminary review of the project and provided comments.

ANALYSIS:

Pursuant to Municipal Code Section 8.05.110 (Alterations of Class 1 and Class 2 Historic Resources – Certificate of Appropriateness), HSPB shall evaluate the proposal for compatibility and mitigate any adverse impacts to character-defining features of the historic resource by reviewing it for compliance with the four criteria:

Certificates of Appropriateness (“C of A’s”) are processed pursuant to Municipal Code Section 8.05.110 as follows:

Criteria and Findings for alterations to Class 1 sites:

The HSPB shall approve the C of A’s if the following findings can be met

1. *That the proposed alteration does not significantly impact or materially impair the character-defining features of the historic resource as listed in the resolution for historic designation, or, where a character-defining feature may be impacted, the proposed alteration minimizes that impact as much as possible.*

The property was designated a Class 1 landmark site by the City Council in July, 2024. As a Brutalist building, the bush hammered concrete finish is considered one of the most important character-defining features of the resource, and the east elevation was identified as the primary façade. No changes are proposed to the original building footprint and original openings. The garage addition is detached from the existing building, and new openings for fenestration match the existing size and patterns found on the historic resource. These alterations are proposed on the south and north elevations, while the primary elevation remains intact. In order to bring in additional light, two areas of the roof are extruded vertically to provide indirect light into the living room spaces. All features that were identified as character-defining features<sup>1</sup> remain with minimal to no impact. The proposed perimeter fence provides a level of transparency with exceptions to the two gates. A level of visual transparency at the front gate would be recommended. Overall, staff finds that the proposed alterations to the building and site meet this criterion.

---

<sup>1</sup> See Attachment C for the complete list of character-defining features listed in the City Council Resolution for historic designation.

2. *That the proposed alteration will assist in restoring the historic resource to its original appearance where applicable, or will substantially aid its preservation or enhancement as a historic resource;*

The vacant property has been in a state of deferred maintenance and disrepair. As part of this project, the owner plans to consult with preservation professionals to clean, repair and maintain the exterior concrete surfaces of the resource. Visually impactful additions such as the rooftop mechanical equipment and associated features will be removed, and historic openings will be restored to match the original design. Conditions of approval include additional information regarding the maintenance plan being submitted for staff review prior to the issuance of the building permit. Plans to repair and maintain the building will protect and preserve the historic resource, hence this criterion is met.

3. *That any additions to the historic resource are consistent with the massing, proportions, materials, and finishes of the existing historic resource, and: (i) can be distinguished from the existing historic resource as may be appropriate; or (ii) are indistinguishable from the historic resource as may be appropriate, and where such alterations are clearly documented in the City's archival file for the historic resource as being non-original to the historic resource;*

The new additions proposed on this site are limited to the following features: detached garage structure, detached patio covers, new swimming pool and a metal fence around the perimeter of the parcel. The proposed two-car garage structure has a flat roof, and the massing is subordinate to the historic resource. The dark brown stucco finish is a compatible material to the historic resource because it does not visually compete with the historic concrete finishes and is easily distinguishable from the historic resource. The materials for the patio/walkway covers and perimeter fence relate to the resource but have no physical impact. Staff finds the proposed additions also meet criterion 3.

4. *That, in cases where Federal funds are to be utilized in financing the proposed alterations, the alterations are consistent with the Standards for the Treatment of Historic Properties, as put forth by the U.S. Secretary of the Interior.*

No federal funds are involved in the proposed project.

#### ENVIRONMENTAL ASSESSMENT:

The proposed alteration is considered a project pursuant to the guidelines of the California Environmental Quality Act ("CEQA"). Staff has evaluated the proposal relative to the CEQA Guidelines and determined the project to be Categorical Exempt from further evaluation under CEQA as a Class 31 because the project proposes rehabilitation of the historic site that is consistent with the Secretary of the Interior Standards. The proposed scope of work does not radically change, obscure or destroy character-defining features of the buildings.

**CONCLUSION:**

The proposed alterations do not significantly impact character-defining features of the resource. In addition, the applicant proposes to remove the non-historic elements that have been added to the structure and pursue proper cleaning, repair and maintenance of the historic resource in accordance with the standards for treatment of historic properties. The necessary criteria for the issuance of a Certificate of Appropriateness are met, and staff recommends approval as proposed with conditions.

PREPARED BY:	Sarah Yoon, Associate Planner/Historic Preservation Officer
REVIEWED BY:	Anthony Riederer, Assistant Director of Planning Services
REVIEWED BY:	Christopher Hadwin, Director of Planning Services

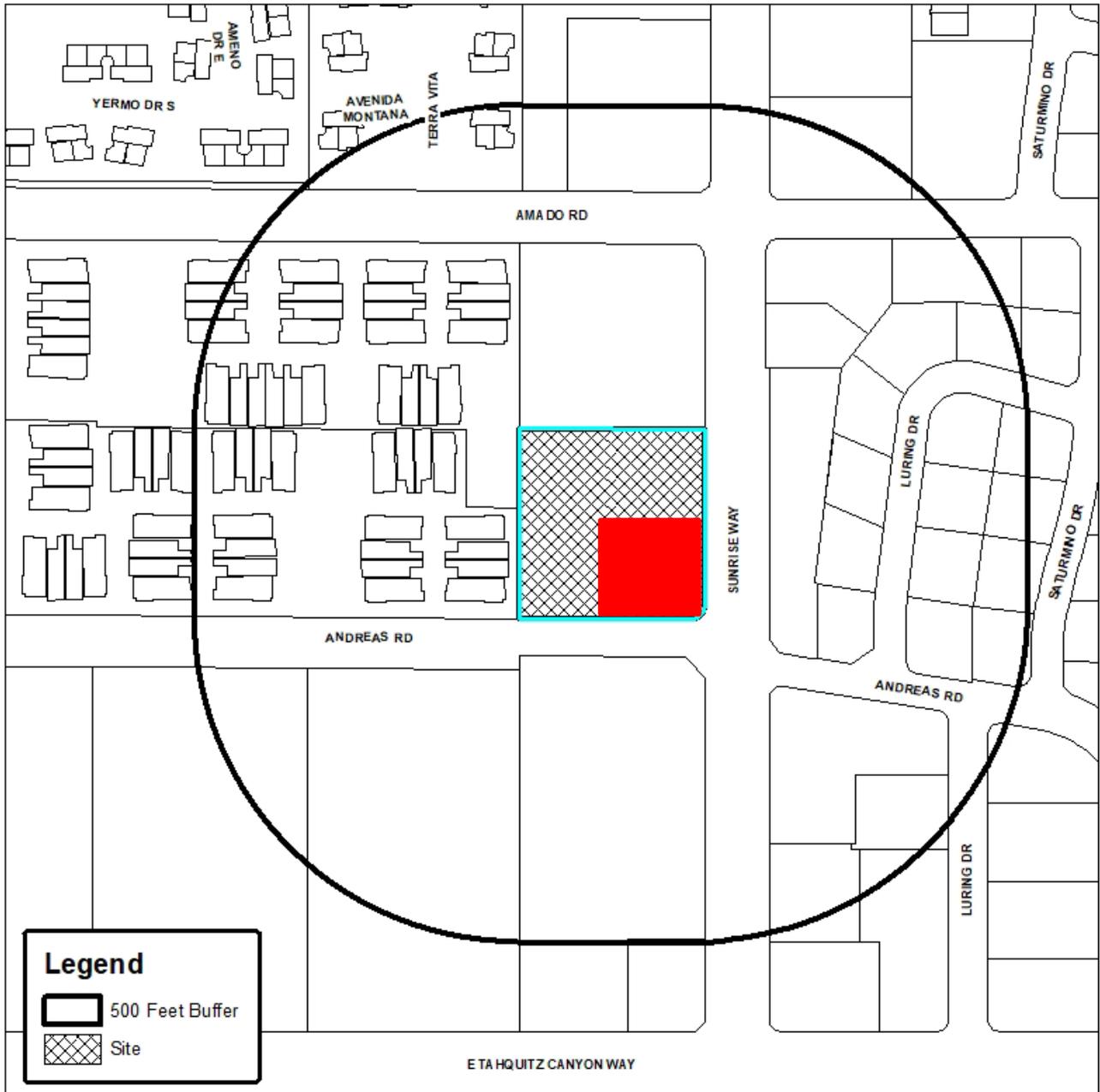
**Attachments:**

- A. Vicinity Map.
- B. Application, related background materials, photos.
- C. City Council Resolution for Designation.
- D. THPO Comments.

# ATTACHMENT A



# Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS  
211 North Sunrise Way

# ATTACHMENT B

## MEZRAHI FAMILY TRUST

333 North Palm Canyon Drive, Suite 109  
Palm Springs, CA 92262  
760-799-0361

M

February 4, 2025

To Whom It May Concern,

In May 2019, I purchased the Gas Building with the goal of preserving it. Soon after, we secured the Riverside County Health Substance Abuse Department as a tenant and finalized negotiations, including interior plans that were approved by the city's building department. However, by November 2019, RSC opted to proceed with a different adjacent site.

Just a few months later, the COVID-19 pandemic struck, further disrupting our plans. While we continued advertising the building for lease, I collaborated with Vicky Barbieri Architectural Firm to explore various development concepts. Over the years, we considered multiple ideas. Initially, influenced by the pandemic, we envisioned a high-end RV venue with the Gas Building serving as an event space. However, this proved impractical, leading us to pivot toward a 44-room hotel concept. Unfortunately, major hotel groups required a minimum of 120–150 rooms for profitability, making this option unfeasible.

After evaluating several other possibilities, we ultimately decided to split the lot into two separate projects. This allowed us to preserve the building by repurposing it into a single-family residence, an approach well-suited to its existing residential zoning and more appealing to potential residents.

Overall, the building faced challenges in attracting tenants for its intended purpose without undertaking significant renovations. Additionally, asbestos contamination inside the structure required the removal of all interior partition walls and the scraping of finished plaster from the interior concrete walls. This extensive remediation and renovation process has been a long and complex journey.

We are now eagerly anticipating the final approval phase, which will allow us to bring this project to a successful completion.

Sincerely,



---

Shaul Mezrahi  
Trustee of the Mezrahi Family Trust

## **211 N Sunrise Dr – Former Gas Company Building Justification Letter for Restoration and Adaptive Reuse as a Residential Project**

### **Restoration and Adaptive Reuse of the Historic Building**

This proposal seeks to honor the historic character of the building while reimagining its function to serve as a contemporary residential space. Originally designed and used as an office building, the structure will be repurposed to accommodate modern residential needs while maintaining its architectural integrity and historical significance.

### **Historical Significance and Original State**

The building is a prime example of mid-20th-century architecture, defined by its textured concrete walls, clean lines, and a restrained material palette. Over time, exposure to the elements has left some of the exterior features, including the concrete walls and stucco finishes, in need of careful restoration. Additionally, the original configuration was tailored to the needs of an office, with spaces designed for functionality rather than habitation.

The goal of this project is to restore the building's defining elements to their original condition while reconfiguring its spatial layout to accommodate its new purpose as a residential home.

### **Restoration Efforts**

- **Concrete Walls:** The textured concrete walls, which are a defining feature of the building's original design, will be cleaned and preserved using specialized techniques. These methods will protect the unique texture and edges that contribute to the building's character.
- **Stucco Finishes:** The stucco walls, originally finished in a sand tone, will be preserved to maintain the visual continuity and material authenticity of the building.
- **Fenestration:** The window openings and divisions have been carefully restored to reflect their original proportions and configurations. This ensures that the building's rhythm and visual harmony remain intact.

---

### **New Interventions**

The building's transformation from office to residential use necessitated the introduction of new elements and spatial reconfigurations, all designed with sensitivity to the original architectural language:

- **Functional Additions:**
  - A new garage and outdoor kitchen have been introduced to support the needs of a modern residential property. These elements have been designed with a restrained aesthetic, using materials such as brown stucco that harmonize with the original palette while distinguishing them as contemporary interventions.

- The outdoor spaces, including a pool and dining area, have been carefully integrated into the landscape, creating a seamless connection between indoor and outdoor living spaces.
- **Interior Layout Adjustments:**

The interior has been reconfigured to accommodate residential living, with spaces designed for comfort and functionality. New skylights have been introduced in the living rooms to provide indirect natural light, enhancing the quality of the interior spaces. The foyer, a prominent feature of the original design, retains its open and light-filled character through its existing curtain walls.
- **Perimeter Walls and Landscaping:**

The landscaping has been redesigned to reflect the residential character of the property while maintaining a dialogue with the original architecture. Native plants have been incorporated, and subtle lighting highlights key architectural features without overwhelming the historic fabric. The perimeter is enclosed by a wrought iron fence, providing security while allowing visibility of the building's key features.

---

### **Adaptive Reuse and Design Philosophy**

This adaptive reuse project respects the original architecture while reimagining its purpose. By converting the building into a residence, the design embraces the opportunity to give the structure a new life, ensuring its continued relevance and preservation.

The interventions have been approached with a “light touch” philosophy—introducing contemporary elements that enhance functionality without overpowering the building's historic character. This approach balances the needs of the present with a deep respect for the past, ensuring the building's legacy as a significant architectural artifact is preserved.

---

### **Conclusion**

This proposal represents a harmonious blend of restoration and adaptation, designed to celebrate the building's historic character while meeting the demands of modern residential living. By carefully restoring its defining elements and thoughtfully introducing new interventions, this project aims to secure the building's future as a cherished architectural landmark.

**Sincerely,**

Vicky Barbieri  
**Director**  
***The Heritage Group***

## Response Letter to HSBP Comments

Dear Members of the Historical Site and Building Preservation Board (HSBP),  
We sincerely appreciate the invaluable feedback provided during the recent study session. Your comments and observations have been instrumental in refining our proposal to ensure it aligns with the preservation goals for the historic building. Below, we address your concerns and outline the modifications made in response to your recommendations:

---

### Site Planning

- **Lack of visibility of the historic monument sign features if it is behind the newly proposed wall:**

Based on your observations regarding visibility concerns, we have replaced the proposed solid wall with a wrought iron fence. This solution enhances visibility of the interior elements of the historic building while maintaining an appropriate enclosure for the site.

- **Purpose of the new addition to the rear entrance that extrudes from the original floor plan of the resource:**

The new roof structure adheres to a design language consistent with the original elements but remains distinctive to respect the building's historic integrity. It provides shading for the three surrounding spaces and curtain walls, connecting the library, rear entrance, and kitchen. This space functions as a protected courtyard, enhancing usability while maintaining harmony with the building's original design.

---

### Exterior Fenestration

- **Replacement windows are sub-divided into three parts where the original windows do not show divisions:**

We have revised the proposed windows to match the mullion patterns of the original design. The new openings follow the original configuration of two parts: an awning transom and a glass door, preserving the proportions and aesthetic integrity of the historic structure.

- **Reconfiguration of the transom window above the main entrance (east elevation):**

The transom window now reflects the original modulation, size, and partitions, aligning seamlessly with the curtain walls and windows of the building.

- **Collective concerns expressed by members regarding the proposed new windows on the east elevation (front) and how they impact the concrete wall of the primary façade. Comments focused on moving the proposed openings to an adjacent elevation to keep the concrete wall intact:**

In response to concerns about the impact on the concrete wall of the primary façade, we have eliminated new openings on the east elevation. Instead, the proposed openings have been relocated to secondary facades, preserving the original looks on the main façade.

---

## Exterior Materials

- **Material choice of the new wall and how it does not relate to the material of the retaining walls that exist on the site now:**

The north elevation wall features a stucco finish in sand color, as originally intended in the historic project, and we will preserve it. To address visibility and align with the Historic Board's comments, we have replaced the previously proposed surrounding wall with a wrought iron fence. For the new garage walls, we are proposing a distinctive brown stucco finish that complements the overall color palette while maintaining a clear distinction between the new addition and the original stucco walls.

---

## Use of the Historic Building Code

- **Identify openings that are required by building code requirements to see if the historic building code exception may be applied to protect historic fabric/materials by adjusting the location and possibly the size of the required openings:**

We have calculated the required openings for lighting and ventilation per the California Historical Building Code (CHBC) and included the updated window schedule in our architectural packet. This ensures compliance while protecting the historic fabric and materials.

- **Historic Building Code Reference: California Historical Building Code (CHBC) Sections 18950 to 18961 of Division 13, Part 2.7 of Health and Safety Code (H&SC):**

Compliance with CHBC Sections 18950–18961 of Division 13, Part 2.7 of the Health and Safety Code (H&SC), as adopted in the 2022 California Historical Building Code, Title 24, Part 8.

---

## Request for Clarification as Part of the Proposal

- **Planter/landscape conditions (existing and proposed) on the west elevation:**  
We propose functional additions, including the garage, exterior kitchen, and pool. The secondary planter walls to be removed are constructed with concrete blocks and paint, and they do not hold the same architectural significance as the poured-on-site concrete walls of the main facades. Details of these removals are indicated in **A1.11-Demolition and Removal Floor Plan**.
- **Call out of landscape walls that are proposed to be removed:**  
All proposed removals are detailed in **Sheet A1.10 - Demolition and Removal Floor Plan**.

- **Clarify if existing (historic) openings will remain in the same location and size:**  
All historic openings will remain in their original location and size. Window replacements will match the original sizes and modulation, maintaining the building's design integrity.
  - **Provide elevations and material details for the proposed detached garage structure, garage door:**  
Detailed elevations and material specifications for the detached garage and garage door are included in **Sheet A1.34 - Proposal - Garage Elevations.**
- 

### Perimeter walls and landscape design

- **The location of the perimeter walls appears to overlap and create pinch points with the historic retaining walls that are to remain. Please take a closer look at this relationship to make sure the walls make sense. Also, include an elevation that shows the walls and the design of the perimeter walls for clarity. The review will also need to see landscape design and any landscape lighting that may be proposed.**

We have replaced the proposed solid wall with a wrought iron fence and adjusted its alignment to ensure it does not interfere with the existing planter walls. This adjustment enhances visibility of the historic building's interior elements while maintaining an appropriate enclosure for the site. The updated Floor Plan illustrate the relationship between the perimeter walls and the historic retaining walls. The updated submission will also include the landscape design and proposed landscape lighting for review.

- **Preservation treatment of the concrete walls should be included. The cleaning and treatment of the walls is an important piece to consider with this project. Given that the exterior concrete may have been neglected in the elements for a long period of time, conventional ways of cleaning may destroy the unique edges. Consultation of a specialist that deals with historic concrete may be vital for this project to protect and stabilize the exterior concrete finish. I highly recommend reaching out to preservation specialists and obtaining recommendations on how to deal with the exterior material so that it minimizes any loss during construction. If there is a recommendation for a finish on the surface of the concrete, a mock-up prior to construction may be a condition.**

We have obtained a referral for a specialized company experienced in evaluating and executing proper cleaning and preservation techniques for historic concrete structures:

- Western Waterproofing Company – Anaheim, CA
- Website: [www.westernspecialtycontractors.com](http://www.westernspecialtycontractors.com)
- Phone: (714) 776-7746

There will be coordination with them to assess and implement the most appropriate methods for cleaning and preserving the walls and other historic elements. If a surface treatment is recommended, we will prepare a mock-up prior to construction to ensure the finish aligns with preservation standards.

---

**We didn't talk about these comments during our meeting today, but here are a few ideas that came up as we looked at this project that may or may not be helpful:**

- **Have you considered possibly flipping the location of the outdoor dining area and the pool? The outdoor dining area seems a bit far away from the kitchen.**

We revisited this idea and found that relocating the outdoor dining area closer to the kitchen improved both functionality and spatial efficiency. The updated floor plan reflecting this adjustment is now available on **A1.21 - Proposal - Floor Plan**.

- **The “foyer” space is such a large area, and your design calls for a skylight in this location. When reviewing the design, another historic home came to mind—the “Goldberg House” at 2340 Southridge Drive. This home, designed by William Cody, had an original atrium that was enclosed with a skylight, which was later re-opened into an open-air atrium space.**

We have conducted a thorough analysis of natural light distribution throughout the project. Given the presence of curtain walls on both entrances, we determined that the foyer receives sufficient daylight without the need for an additional skylight. Instead, we are proposing skylights in both living rooms to introduce indirect side lighting, which will enhance natural illumination in these spaces. The size and proportion of the skylights have been carefully studied and are updated in the architectural drawings.

Regarding the open-air atrium concept, we discussed this with the property owner and ultimately decided against it due to budget constraints and technical challenges related to long-term maintenance.

---

We hope these adjustments and clarifications demonstrate our commitment to preserving the historical character of this building while addressing the functional needs of the project. We deeply value the guidance of the HSBP members and look forward to continued collaboration in bringing this vision to life.

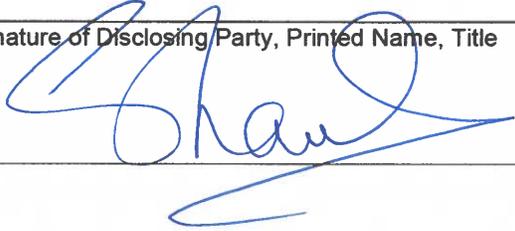
Thank you for your attention and support.  
Sincerely,

Viky Barbieri  
***The Heritage Group***



7. Owners/Investors with a 5% beneficial interest in the Applicant Entity or a related entity	
<b>EXAMPLE</b>  <i>JANE DOE</i>  <hr/> [name of owner/investor]	50%, ABC COMPANY, Inc.  <hr/> [percentage of beneficial interest in entity and name of entity]
A. <i>SHAUL MEZRAHI</i>  <hr/> [name of owner/investor]	50%.  <hr/> [percentage of beneficial interest in entity and name of entity]
B. <i>CAROLINE MEZRAHI</i>  <hr/> [name of owner/investor]	50%.  <hr/> [percentage of beneficial interest in entity and name of entity]
C.  <hr/> [name of owner/investor]	<hr/> [percentage of beneficial interest in entity and name of entity]
D.  <hr/> [name of owner/investor]	<hr/> [percentage of beneficial interest in entity and name of entity]
E.  <hr/> [name of owner/investor]	<hr/> [percentage of beneficial interest in entity and name of entity]

**I DECLARE UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING IS TRUE AND CORRECT.**

Signature of Disclosing Party, Printed Name, Title 	Date 2-27-24
---	-----------------

**PENALTIES**  
 Falsification of information or failure to report information required to be reported may subject you to administrative action by the City.



# 211 N SUNRISE

## ONE SINGLE FAMILY DWELLING

211 N SUNRISE WAY  
PALM SPRINGS, CA 92262

PROPOSED RE-ADAPTIVE USE OF THE HISTORIC BUILDING PREVIOUSLY USED AS AN OFFICE FOR THE GAS COMPANY, REPURPOSED AS A SINGLE-FAMILY RESIDENCE

### PROJECT DATA:

ADDRESS: 211 N SUNRISE WAY, PALM SPRINGS, CA 92262  
 APN: 508070016  
 TRACT NO: 011-003 PALM SPRINGS  
 LEGAL DESCRIPTION: THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SAN BERNARDINO BASE AND MERIDIAN.  
 TOTAL LOT COVERAGE %: 6,201 SQ FT (GARAGE INCLUDED) (30.42 %)  
 TOTAL SQ FT: 5,879 SQ FT  
 NUMBER OF STORIES: 1  
 BUILDING TYPE: RESIDENTIAL  
 YEAR BUILT: 1970  
 ZONE: R-1

### PROJECT DIRECTORY

PROJECT ADDRESS: 211 N SUNRISE WAY, PALM SPRINGS, CA 92262  
 APN: 508070016  
 CLIENT: MEZRAHI FAMILY TRUST, SHAUL MEZRAHI, 333 N PALM CANYON DR, SUITE 109, PALM SPRINGS, CA 92262  
 ARCHITECT: THE HERITAGE GROUP, CA LICENSE # C12380, 2121 VALDERAS DR, SUITE #89, GLENDALE, CA 91208  
 PRINCIPAL ARCHITECT: VICKY L. BARBIERI  
 PROJECT MANAGER: MANUEL ESCALANTE-RASCON  
 ASSISTANT MANAGER: DANIEL DE LA ROSA  
 SURVEY: FOMOTOR ENGINEERING, 225 S. CIVIC DRIVE, SUITE 1-5, PALM SPRINGS, CA 92262, (760) 323-1842  
 LANDSCAPE: LANDSCAPE ARCHITECT: TKD ASSOCIATES, INC., TOM DOCZI, 71-711 SAN JACINTO DR., SUITE C, RANCHO MIRAGE, CA 92270, PHONE: 776-1751 FAX 760-776-1753, TOMD@TKDINC.NET

### WAIVERS AND INCENTIVES

NUMBER OF WAIVERS REQUESTED: 1  
 WAIVER: 1. YARD / SETBACK  
 DESCRIPTION: 5' - 0" REAR SETBACK

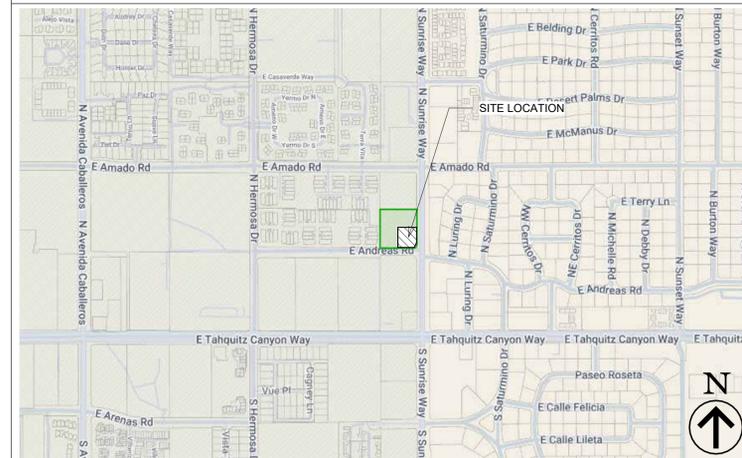
### SCOPE OF WORK

- PROPOSED READAPTIVE USE FROM 5,879 SQ FT HISTORIC COMMERCIAL BUILDING TO RESIDENTIAL

### APPLICABLE CODES

- PALM SPRINGS MUNICIPAL CODE  
 - SECRETARY OF INTERIOR CODE

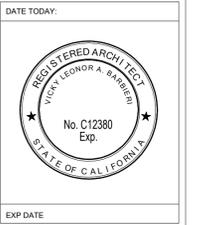
### VICINITY MAP



### SHEET INDEX

No.	Description	Date
A0.00	Title Sheet	
A0.01	Existing Building - Photographs 01	
A0.02	Existing Building - Photographs 02	
A0.10	Existing Building - Survey Site Plan	
A0.30	Existing Building - Elevations	
A1.10	Demolition and Removal - Roof Plan	
A1.11	Demolition and Removal - Floor Plan	
A1.20	Proposal - Site Plan	
A1.21	Proposal - Floor Plan	
A1.25	Proposal - Color and Material Exhibits	
A1.30	Proposal - South Elevation	
A1.31	Proposal - East Elevation	
A1.32	Proposal - North Elevation	
A1.33	Proposal - West Elevation	
A1.34	Proposal - Garage Elevations	
A1.40	Proposal - Sections	
A1.50	Proposal - Window and Door Schedule	
A1.60	Proposal - Perspectives 01	

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED. ANY REUSE OR MODIFICATION OF THESE PLANS WITHOUT THE WRITTEN APPROVAL OF VICKY BARBIERI A.I.A. SHALL BE AT THE USER'S RISK. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



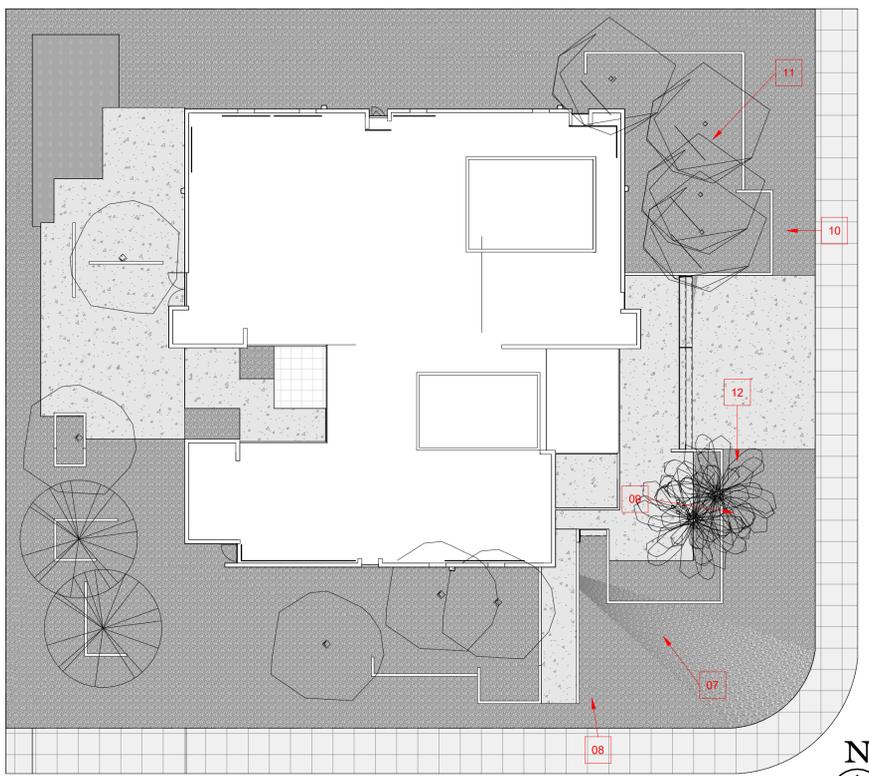
THE HERITAGE GROUP  
**ho**  
 ARCHITECTURE  
 CONSTRUCTION  
 VICKY L. BARBIERI A.I.A.  
 CA. LICENSE # 12380  
 ARCHITECTURE  
 ENGINEERING  
 PLANNING  
 INTERIORS  
 4400 W RIVERSIDE DR.  
 STE. 110-888  
 BURBANK, CA 91505

PROJECT: 211 N SUNRISE AVE, PALM SPRINGS CA, 92262  
 OWNER:  
 PROJECT ADDRESS:

No.	Description	Date

DRAWN BY: MER  
 CHECKED BY: VB  
 DATE: 01/28/2025  
 SCALE: As indicated  
 JOB NO: 1719  
 SHEET NAME: Title Sheet  
 SHEET: A0.00

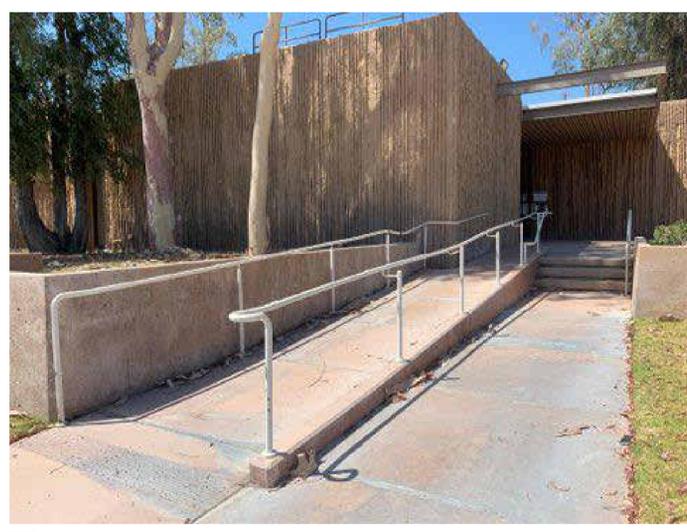




1 Key Map - Photographs 02  
1/16" = 1'-0"



07



08



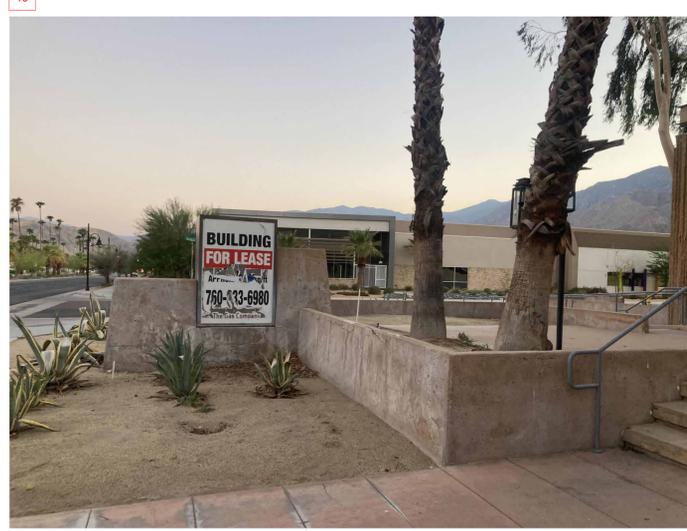
09



10



11



12

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED. ANY REUSE OR MODIFICATION OF THESE PLANS WITHOUT THE WRITTEN APPROVAL OF VICKY L. BARBIERI A.I.A. IS PROHIBITED. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. VICKY L. BARBIERI A.I.A. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES OR SPECIFICATIONS THAT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION. VICKY L. BARBIERI A.I.A. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES OR SPECIFICATIONS THAT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION.

DATE TODAY:



EXP. DATE:



VICKY L. BARBIERI A.I.A.  
CA. LICENSE # 12380

ARCHITECTURE  
ENGINEERING  
PLANNING  
INTERIORS

4400 W RIVERSIDE DR.  
STE. 110-888  
BURBANK, CA 91505

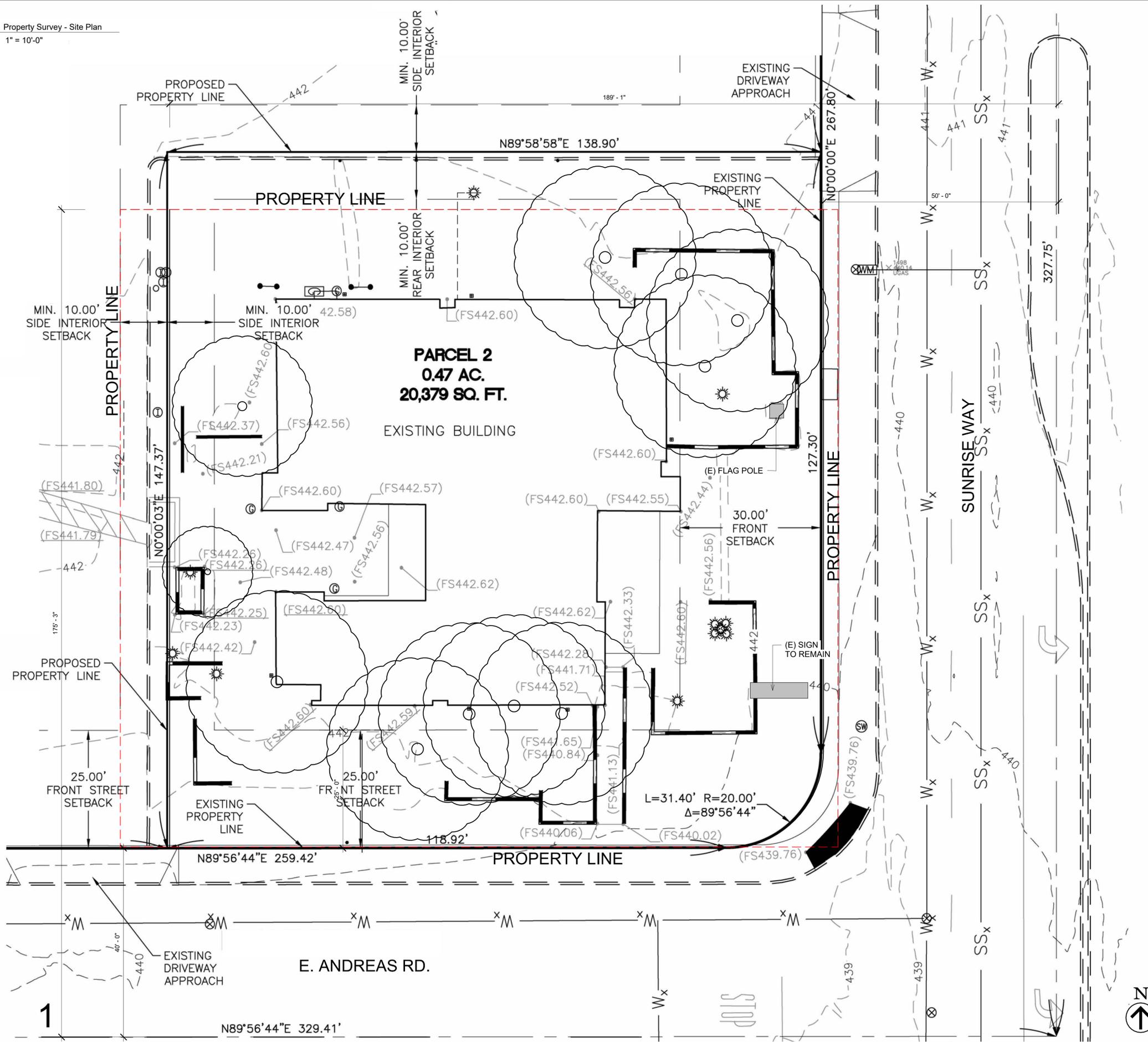
PROJECT: 211 SUNRISE AVE,  
OWNER: PALM SPRINGS CA, 92262  
PROJECT ADDRESS:

No.	Description	Date

DRAWN BY: MER  
CHECKED BY: VB  
DATE: 01/28/2025  
SCALE: 1/16" = 1'-0"  
JOB NO. 1719

SHEET NAME:  
Existing Building -  
Photographs 02

SHEET  
**A0.02**



NOTES:

LEGEND:

- DRAIN INLET
- FIRE HYDRANT
- GAS METER
- GAS VALVE
- IRRIGATION VALVE
- LIGHT
- SEWER MANHOLE
- SIGN
- STORM LINE MANHOLE
- STREET LIGHT
- TELEPHONE MANHOLE
- TREE
- PALM TREE
- UTILITY POLE
- WATER METER
- WATER VALVE

- BOUNDARY
- LOT LINE / RIGHT OF WAY (RW)
- CENTERLINE
- BUILDING SETBACK LINE
- EXISTING CURB
- EXISTING WALL
- EASEMENT
- EXISTING OVERHEAD ELECTRICAL
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING SEWER LINE
- FLOW LINE
- LEFT
- PAD ELEVATION
- STORM DRAIN MANHOLE
- TOP OF CURB
- WATER METER
- WATER VALVE

FL FLOW LINE  
LT LEFT  
PAD PAD ELEVATION  
SDMH STORM DRAIN MANHOLE  
TC TOP OF CURB  
WM WATER METER  
WV WATER VALVE

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND NO PART OF THEM OR ANY INFORMATION CONTAINED HEREIN SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN APPROVAL OF VICKY L. BARBIERI A.I.A. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS IN VICKY L. BARBIERI A.I.A. IN WHOLE OR IN PART. ANY REVISIONS TO THESE PLANS AND SPECIFICATIONS SHALL BE REPORTED TO VICKY L. BARBIERI A.I.A. FOR CORRECTION. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS AND SPECIFICATIONS SHALL BE REPORTED TO VICKY L. BARBIERI A.I.A. FOR CORRECTION. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS AND SPECIFICATIONS SHALL BE REPORTED TO VICKY L. BARBIERI A.I.A. FOR CORRECTION. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS AND SPECIFICATIONS SHALL BE REPORTED TO VICKY L. BARBIERI A.I.A. FOR CORRECTION.

DATE TODAY:

REGISTERED ARCHITECT  
VICKY L. BARBIERI A.I.A.  
No. C12380  
Exp. 12/31/2025  
STATE OF CALIFORNIA

EXP. DATE:

THE HERITAGE GROUP  
*ho*  
ARCHITECTURE  
CONSTRUCTION

VICKY L. BARBIERI A.I.A.  
CA. LICENSE # 12380

ARCHITECTURE  
ENGINEERING  
PLANNING  
INTERIORS

4400 W RIVERSIDE DR.  
STE. 110-888  
BURBANK, CA 91505

PROJECT: 211 SUNRISE AVE, PALM SPRINGS CA, 92262

OWNER: 211 SUNRISE AVE, PALM SPRINGS CA, 92262

PROJECT ADDRESS: 211 SUNRISE AVE, PALM SPRINGS CA, 92262

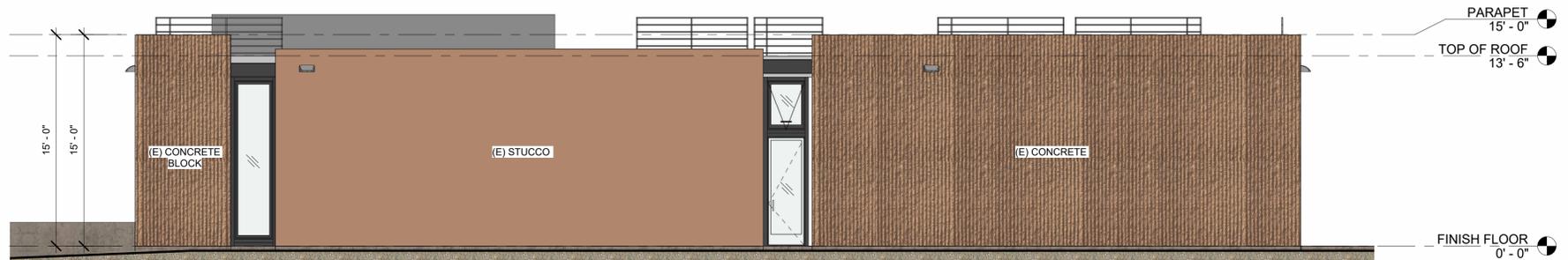
No.	Description	Date

DRAWN BY: MER  
CHECKED BY: VB  
DATE: 01/28/2025  
SCALE: 1" = 10'-0"  
JOB NO: 1719  
SHEET NAME: Existing Building - Survey Site Plan  
SHEET: A0.10

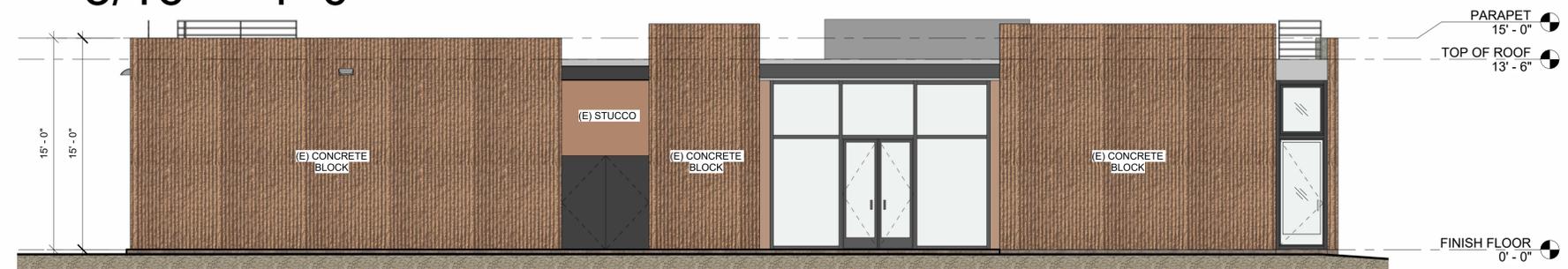
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE LOCATION THERE OF ALL UTILITIES, LOCAL AND STATE, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES, LOCAL AND STATE, PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.



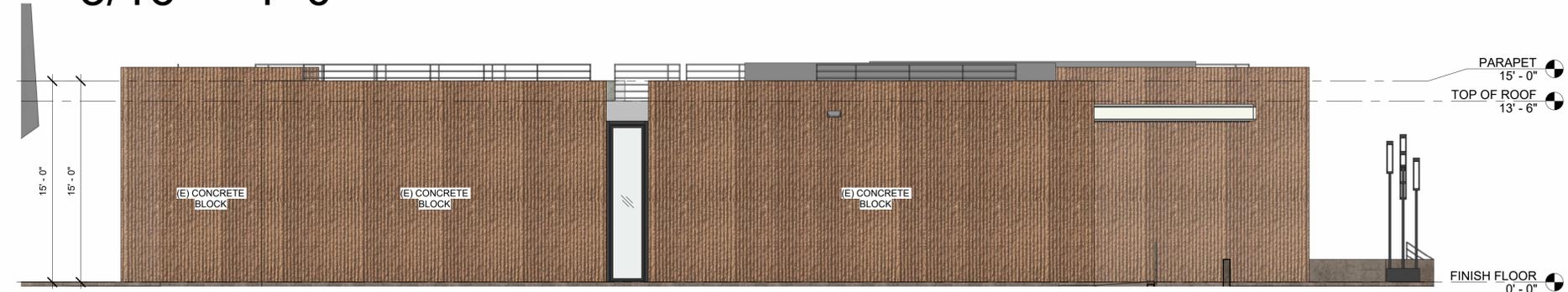
1 Existing - East Elevation  
3/16" = 1'-0"



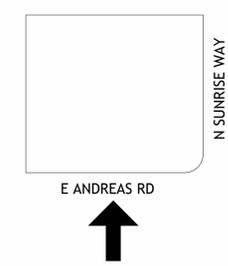
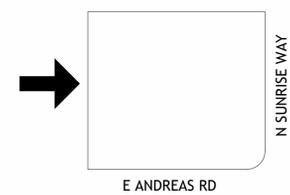
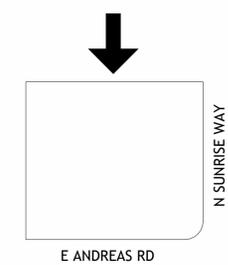
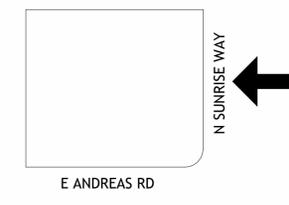
2 Existing - North Elevation  
3/16" = 1'-0"



3 Existing - West Elevation  
3/16" = 1'-0"



4 Existing - South Elevation  
3/16" = 1'-0"



DATE TODAY:

EXP. DATE:

THE HERITAGE GROUP

ARCHITECTURE  
CONSTRUCTION

VICKY L. BARBIERI A.I.A.  
CA. LICENSE # 12380

ARCHITECTURE  
ENGINEERING  
PLANNING  
INTERIORS

4400 W RIVERSIDE DR.  
STE. 110-888  
BURBANK, CA 91505

PROJECT: 211 SUNRISE AVE, PALM SPRINGS CA, 92262

OWNER:

PROJECT ADDRESS:

No.	Description	Date

DRAWN BY: MER

CHECKED BY: VB

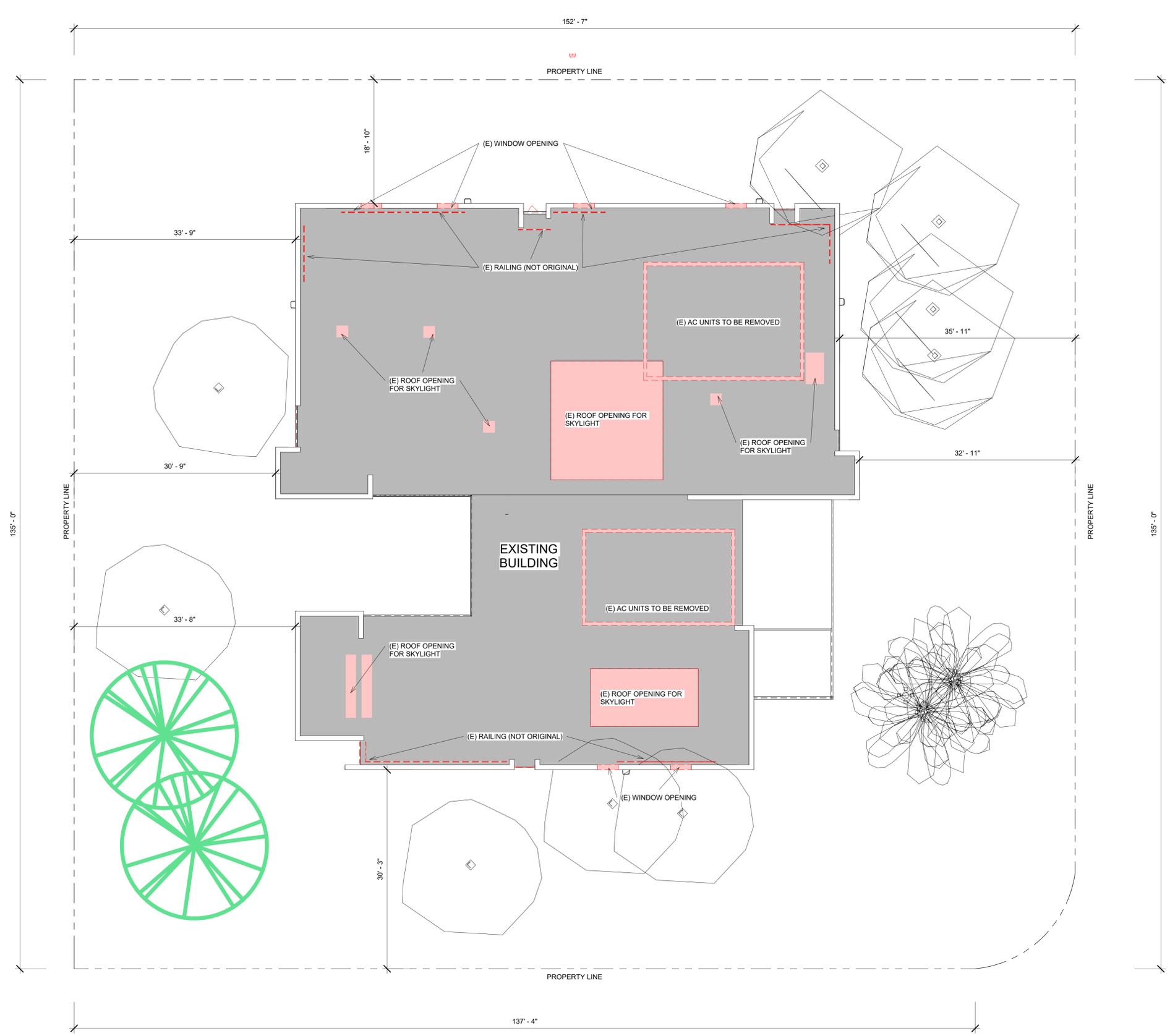
DATE: 01/28/2025

SCALE: 3/16" = 1'-0"

JOB NO. 1719

SHEET NAME: Existing Building - Elevations

SHEET A0.30



SUNRISE WAY

E. ANDREAS RD.



1 Demolition and Removal - Roof Plan  
 1/8" = 1'-0"

NOTES:

LEGEND:

- EXISTING WALL:
- DEMOLISHED WALL:
- DEMOLISHED OR REPLACED ELEMENT (AS INDICATED):
- REPLACED WINDOWS, DOORS AND CURTAIN WALLS :
- DEMOLISHED FLOOR:
- REMOVED TREES:

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND FOR NO OTHER USE OR PURPOSE. ANY REVISIONS TO THESE PLANS AND SPECIFICATIONS SHALL BE MADE BY THE ARCHITECT IN WRITING. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED AND FOR THE COMPLETION OF THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACTIONS OF THE CONTRACTOR OR OTHER THIRD PARTIES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACTIONS OF THE CONTRACTOR OR OTHER THIRD PARTIES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACTIONS OF THE CONTRACTOR OR OTHER THIRD PARTIES.

DATE TODAY:

EXP. DATE:

THE HERITAGE GROUP

ARCHITECTURE  
ENGINEERING  
PLANNING  
INTERIORS

VICKY L. BARBIERI A.I.A.  
CA. LICENSE # 12380

4400 W RIVERSIDE DR.  
STE. 110-888  
BURBANK, CA 91505

PROJECT: 211 SUNRISE AVE, PALM SPRINGS CA, 92262

OWNER:

No.	Description	Date

DRAWN BY: MER

CHECKED BY: VB

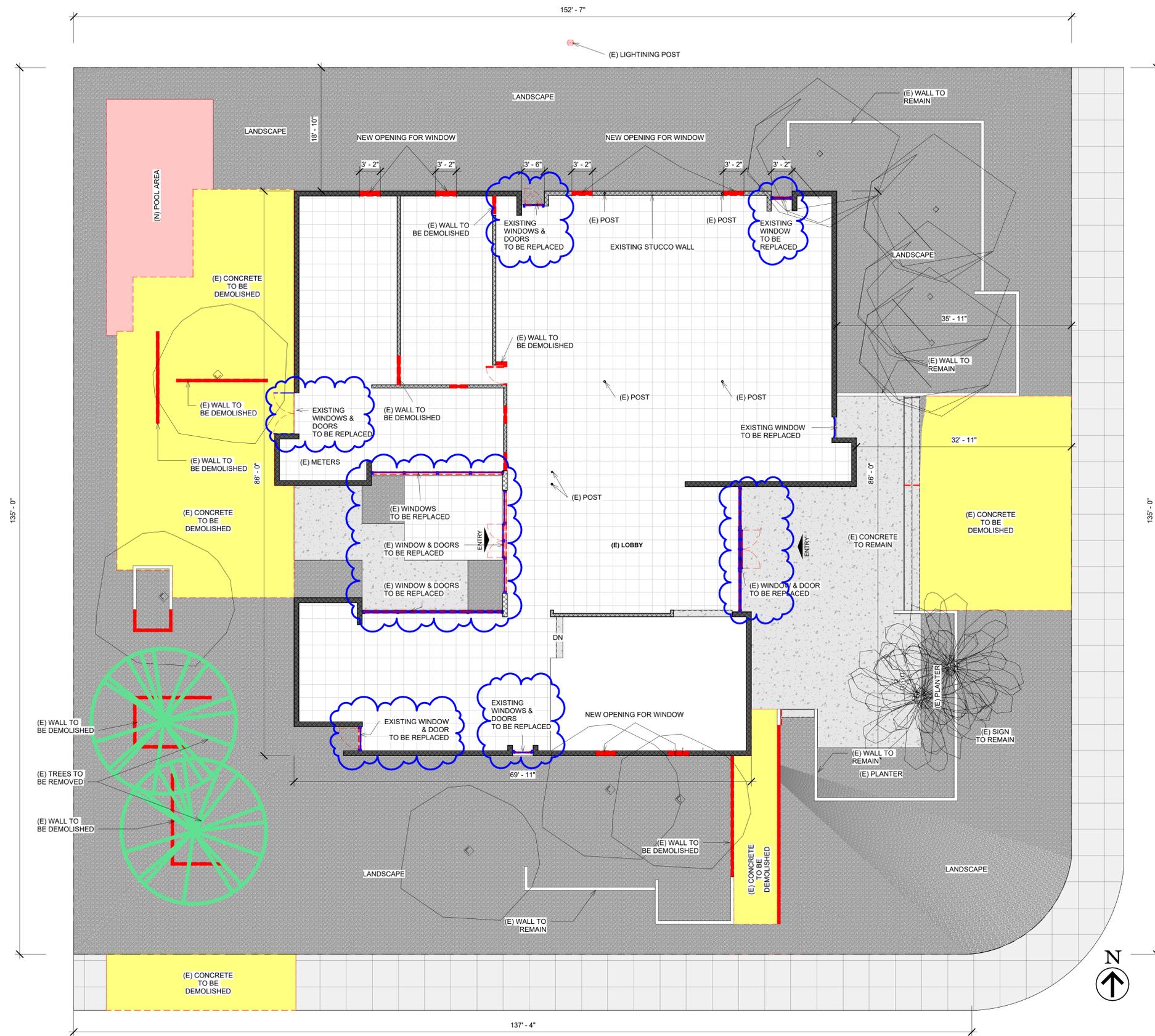
DATE: 01/28/2025

SCALE: As indicated

JOB NO. 1719

SHEET NAME: Demolition and Removal - Roof Plan

SHEET A1.10



NOTES:

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE LOCATION THERE OF ALL UTILITIES, LOCAL AND STATE, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

DATE TODAY:

EXP. DATE:

THE HERITAGE GROUP

ARCHITECTURE  
CONSTRUCTION

VICKY L. BARBIERI A.I.A.  
CA. LICENSE # 12380

ARCHITECTURE  
ENGINEERING  
PLANNING  
INTERIORS

4400 W. RIVERSIDE DR.  
STE. 110-888  
BURBANK, CA 91505

LEGEND:

- EXISTING WALL:
- DEMOLISHED WALL:
- DEMOLISHED OR REPLACED ELEMENT (AS INDICATED):
- REPLACED WINDOWS, DOORS AND CURTAIN WALLS:
- DEMOLISHED FLOOR:
- REMOVED TREES:

PROJECT: 211 SUNRISE AVE, PALM SPRINGS CA, 92262

OWNER:

No.	Description	Date
1	Revision 1	Date 1

DRAWN BY: MER

CHECKED BY: VB

DATE: 01/28/2025

SCALE: As indicated

JOB NO. 1719

SHEET NAME: Demolition and Removal - Floor Plan

SHEET A1.11

1 Demolition and Removal - Floor Plan  
1/8" = 1'-0"





NOTES:

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED. LOCAL CODES, ORDINANCES AND REGULATIONS SHALL BE STRICTLY ENFORCED. LOCAL CODES, ORDINANCES AND REGULATIONS SHALL BE STRICTLY ENFORCED. LOCAL CODES, ORDINANCES AND REGULATIONS SHALL BE STRICTLY ENFORCED.

DATE TODAY:

REGISTERED ARCHITECT  
VICKY L. BARBIERI A.I.A.  
No. C12380  
Exp. \_\_\_\_\_  
STATE OF CALIFORNIA

EXP. DATE

THE HERITAGE GROUP

*ho*

ARCHITECTURE  
CONSTRUCTION

VICKY L. BARBIERI A.I.A.  
CA. LICENSE # 12380

ARCHITECTURE  
ENGINEERING  
PLANNING  
INTERIORS

4400 W RIVERSIDE DR.  
STE. 110-888  
BURBANK, CA 91505

PROJECT: \_\_\_\_\_

OWNER: \_\_\_\_\_

PROJECT ADDRESS: 211 SUNRISE AVE, PALM SPRINGS CA, 92262

No.	Description	Date

DRAWN BY: \_\_\_\_\_

CHECKED BY: MER

DATE: 01/28/2025

SCALE: 1/8" = 1'-0"

JOB NO. 1719

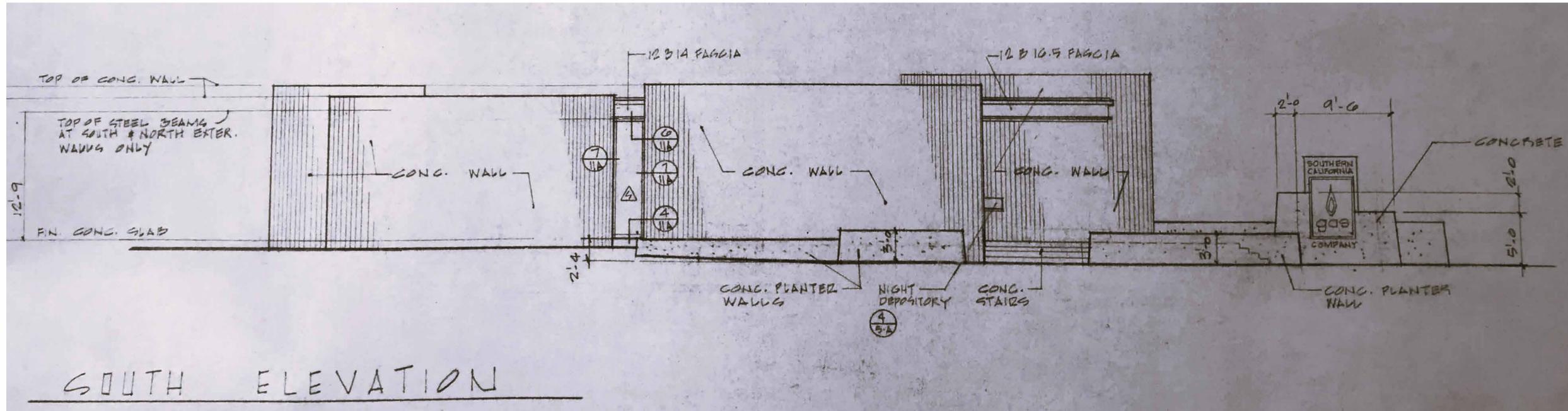
SHEET NAME: Proposal - Floor Plan

SHEET

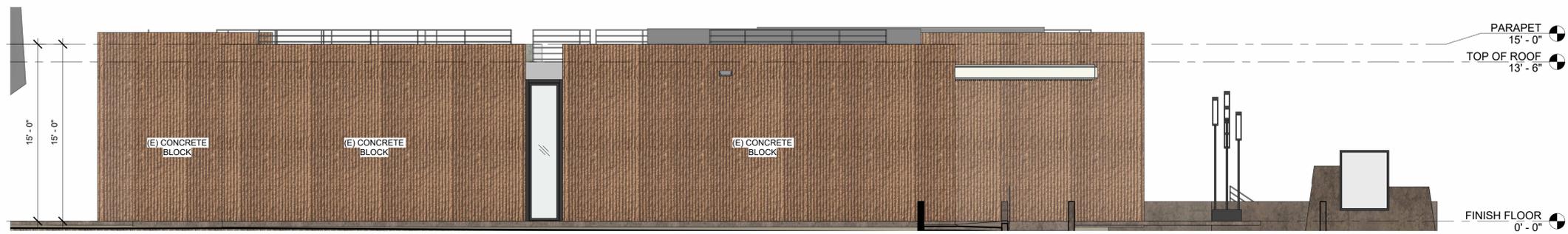
**A1.21**

**1** Proposal - Floor Plan  
1/8" = 1'-0"





2 As Built - South Elevation  
3/16" = 1'-0"

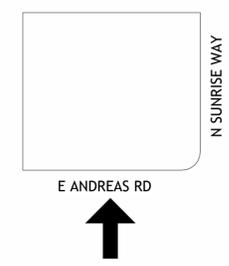


1 Existing - South Elevation - 01  
3/16" = 1'-0"



3 Proposal - South Elevation  
3/16" = 1'-0"

- NOTES:
- REFER TO ENLARGED PLANS, DOOR/WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
  - ALL FRAMED WALLS SHALL BE CHALKED OUT AND APPROVED PRIOR TO CONSTRUCTION.
  - EXTERIOR LIGHT FIXTURES SHALL HAVE LAMP TEMPERATURE RATING OF BETWEEN 2,700 TO 3,000 KELVIN DEGREES, FOR WARM LAMP APPEARANCE.
  - PARAPET FLASHING / COPING SHALL MATCH THE COLOR OF THE BUILDING WALL.



THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE LOCATION THERE OF ALL UTILITIES. LOCAL, STATE, FEDERAL AND NATIONAL CODES, ORDINANCES, LAWS, RULES AND REGULATIONS, AND ALL APPLICABLE LAWS SHALL BE OBSERVED AND ENFORCED. THE WRITTEN APPROVAL OF VICKY L. BARBIERI A.I.A. SHALL BE OBTAINED PRIOR TO ANY CHANGES TO THESE PLANS AND SPECIFICATIONS. ANY CHANGES TO THESE PLANS AND SPECIFICATIONS SHALL BE REPORTED TO VICKY L. BARBIERI A.I.A. FOR CORRECTION. ANY CHANGES TO THESE PLANS AND SPECIFICATIONS SHALL BE REPORTED TO VICKY L. BARBIERI A.I.A. FOR CORRECTION. ANY CHANGES TO THESE PLANS AND SPECIFICATIONS SHALL BE REPORTED TO VICKY L. BARBIERI A.I.A. FOR CORRECTION. ANY CHANGES TO THESE PLANS AND SPECIFICATIONS SHALL BE REPORTED TO VICKY L. BARBIERI A.I.A. FOR CORRECTION.

DATE TODAY:

EXP. DATE:

THE HERITAGE GROUP

ARCHITECTURE  
CONSTRUCTION

VICKY L. BARBIERI A.I.A.  
CA. LICENSE # 12380

ARCHITECTURE  
ENGINEERING  
PLANNING  
INTERIORS

4400 W RIVERSIDE DR.  
STE. 110-888  
BURBANK, CA 91505

PROJECT: 211 SUNRISE AVE, PALM SPRINGS CA, 92262

OWNER: PROJECT ADDRESS:

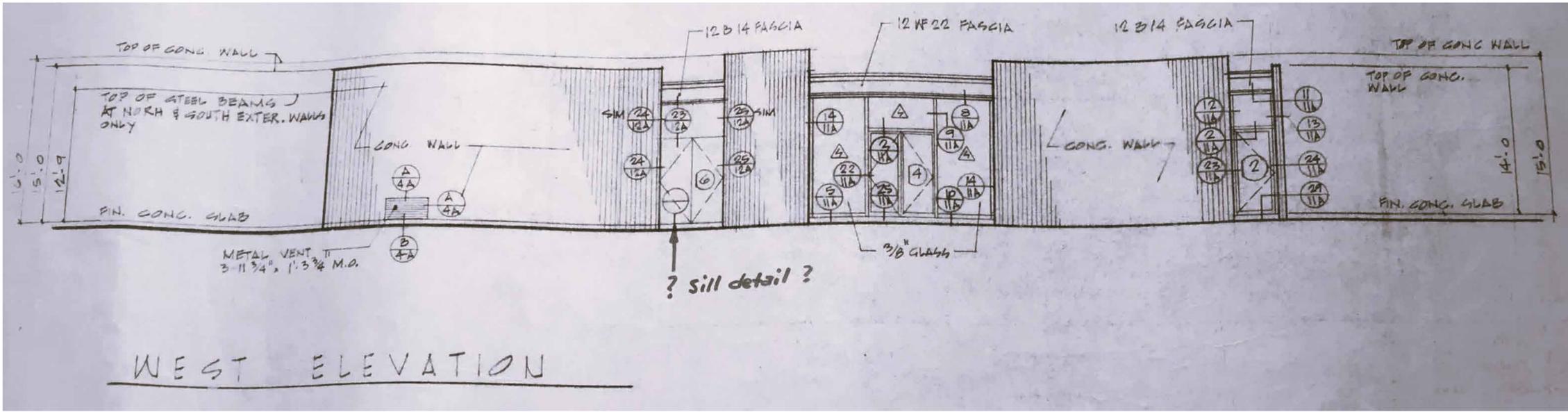
No.	Description	Date

DRAWN BY: MER  
CHECKED BY: VB  
DATE: 01/28/2025  
SCALE: 3/16" = 1'-0"  
JOB NO: 1719  
SHEET NAME: Proposal - South Elevation  
SHEET: A1.30





THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE LOCATION THERE OF ALL UTILITIES, LOCAL AND STATE, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.



3 As Built - West Elevation  
3/16" = 1'-0"



2 Existing - West Elevation - 01  
3/16" = 1'-0"



1 Proposal - West Elevation  
3/16" = 1'-0"

- NOTES:
- REFER TO ENLARGED PLANS, DOOR/WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
  - ALL FRAMED WALLS SHALL BE CHALKED OUT AND APPROVED PRIOR TO CONSTRUCTION.
  - EXTERIOR LIGHT FIXTURES SHALL HAVE LAMP TEMPERATURE RATING OF BETWEEN 2,700 TO 3,000 KELVIN DEGREES, FOR WARM LAMP APPEARANCE.
  - PARAPET FLASHING / COPING SHALL MATCH THE COLOR OF THE BUILDING WALL.

DATE TODAY:  
  
 EXP. DATE:

THE HERITAGE GROUP  
  
 ARCHITECTURE  
 CONSTRUCTION  
 VICKY L. BARBIERI A.I.A.  
 CA. LICENSE # 12380  
 ARCHITECTURE  
 ENGINEERING  
 PLANNING  
 INTERIORS  
 4400 W. RIVERSIDE DR.  
 STE. 110-888  
 BURBANK, CA 91505

PROJECT: 211 SUNRISE AVE, PALM SPRINGS CA, 92262  
 OWNER:  
 PROJECT ADDRESS:

No.	Description	Date

DRAWN BY: MER  
 CHECKED BY: VB  
 DATE: 01/28/2025  
 SCALE: 3/16" = 1'-0"  
 JOB NO.: 1719  
 SHEET NAME: Proposal - West Elevation

SHEET  
**A1.33**

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE LOCATION THERE OF THE STRUCTURE. LOCAL CODES, ORDINANCES AND REGULATIONS SHALL BE STRICTLY OBSERVED. THE WRITTEN APPROVAL OF VICKY BARBIERI A.I.A. SHALL BE OBTAINED BEFORE ANY PART OF THE WORK IS STARTED UNLESS SPECIFIED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

DATE TODAY:



EXP. DATE:



VICKY L. BARBIERI A.I.A.  
CA. LICENSE # 12380

ARCHITECTURE  
ENGINEERING  
PLANNING  
INTERIORS

4400 W RIVERSIDE DR.  
STE. 110-888  
BURBANK, CA 91505

PROJECT: 211 SUNRISE AVE,  
OWNER: PALM SPRINGS CA, 92262  
PROJECT ADDRESS:

No.	Description	Date

DRAWN BY: MER

CHECKED BY: VB

DATE: 01/28/2025

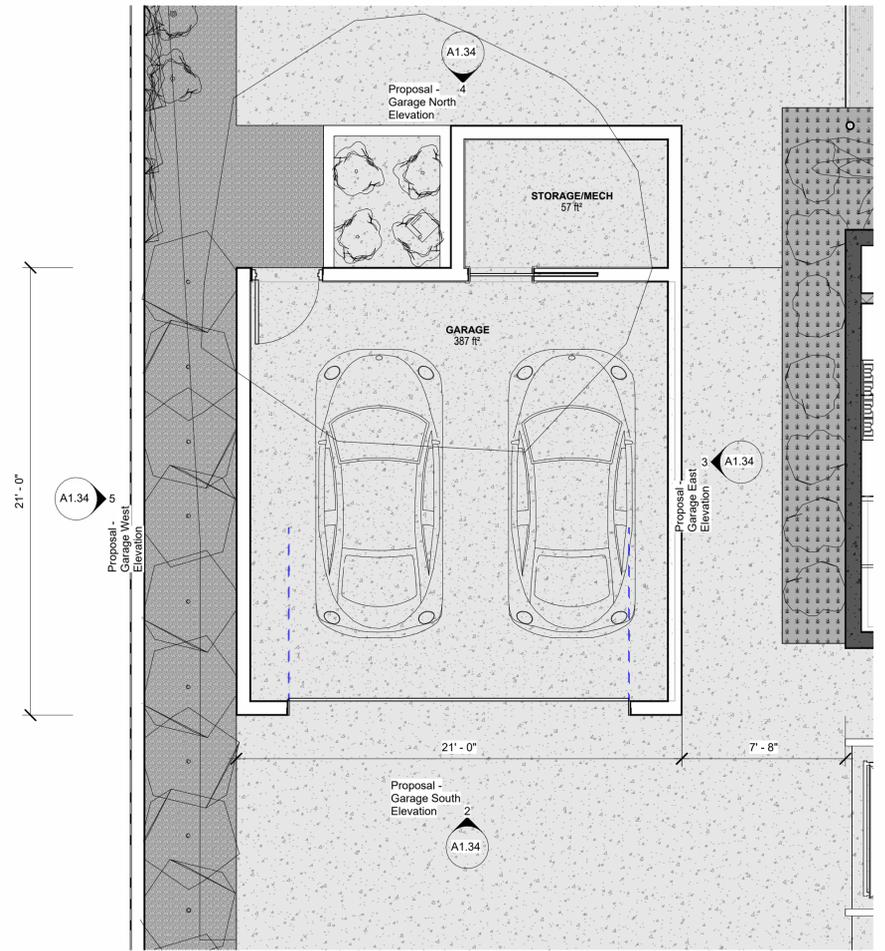
SCALE: 1/4" = 1'-0"

JOB NO. 1719

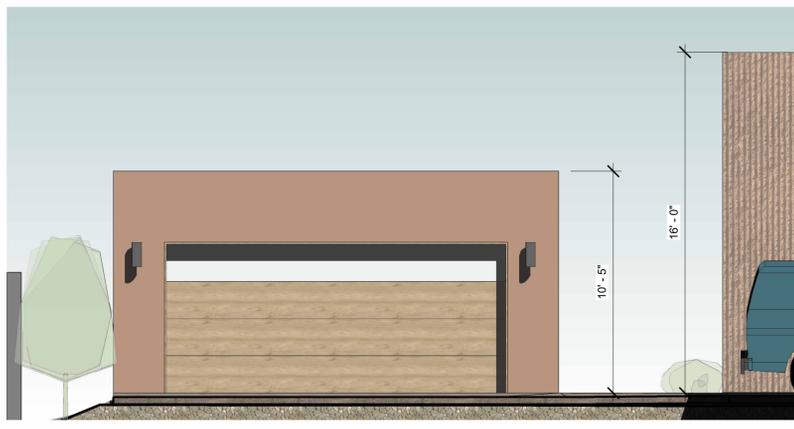
SHEET NAME: Proposal - Garage Elevations

SHEET

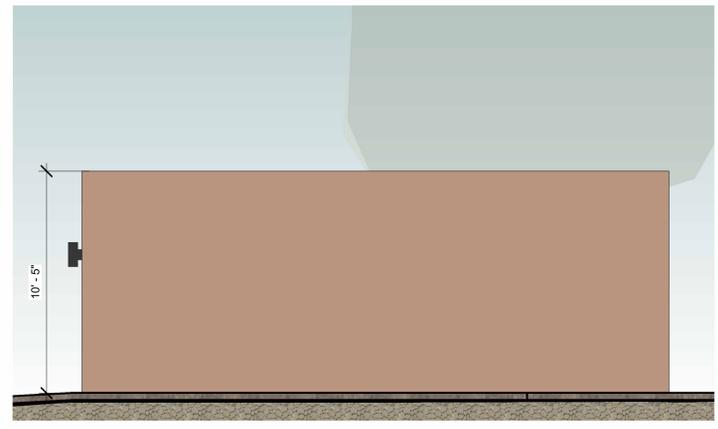
**A1.34**



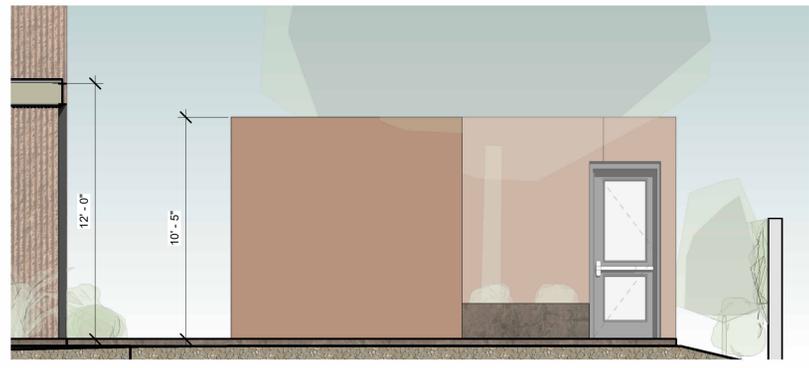
1 Proposal - Garage Floor Plan  
1/4" = 1'-0"



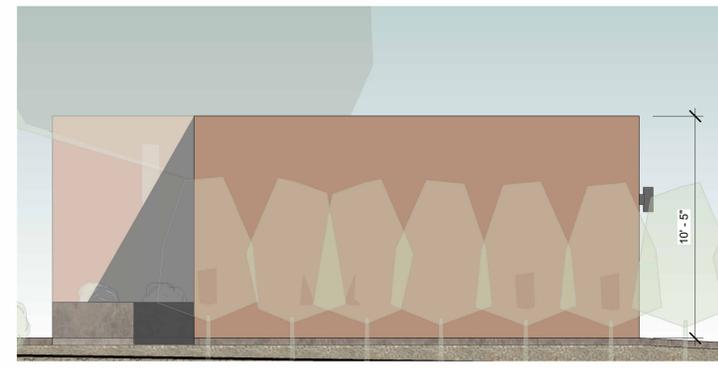
2 Proposal - Garage South Elevation  
1/4" = 1'-0"



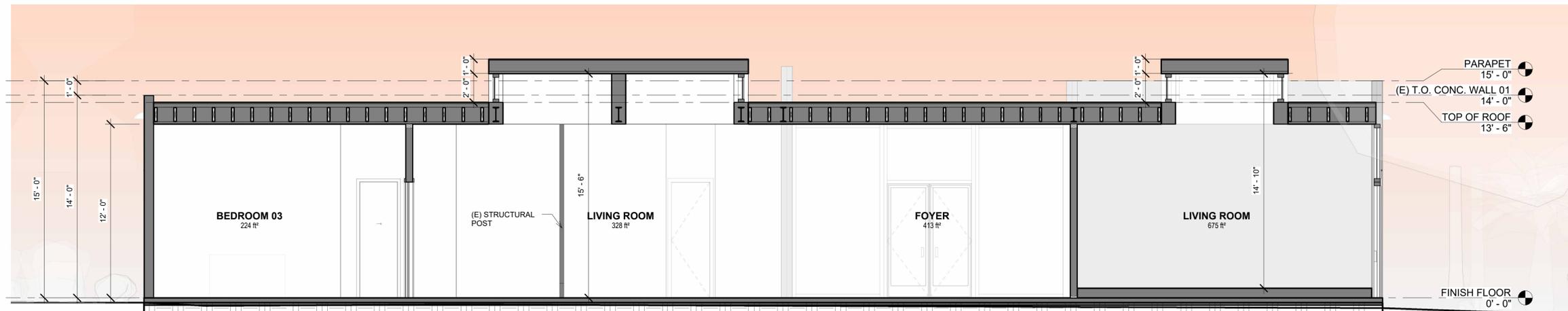
3 Proposal - Garage East Elevation  
1/4" = 1'-0"



4 Proposal - Garage North Elevation  
1/4" = 1'-0"



5 Proposal - Garage West Elevation  
1/4" = 1'-0"



LEGEND:

1. REFER TO ENLARGED PLANS, DOOR/WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
2. ALL FRAMED WALLS SHALL BE CHALKED OUT AND APPROVED PRIOR TO CONSTRUCTION.
3. EXTERIOR LIGHT FIXTURES SHALL HAVE LAMP TEMPERATURE RATING OF BETWEEN 2,700 TO 3,000 KELVIN DEGREES, FOR WARM LAMP APPEARANCE.
4. PARAPET FLASHING / COPING SHALL MATCH THE COLOR OF THE BUILDING WALL.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED. ANY REVISIONS TO THESE PLANS SHALL BE LIMITED TO BOLD USE AND REVISIONS. PRODUCTION OF PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED WITHOUT THE WRITTEN APPROVAL OF VICKY BARBIERI A.I.A. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH VICKY BARBIERI A.I.A. IN CHARGE AND SPECIFICATIONS SHALL BE REPORTED TO VICKY BARBIERI A.I.A. FOR CORRECTION. UNLESS OTHERWISE SPECIFIED, MATERIALS AND METHODS SHALL BE AS MANUFACTURED BY THE MANUFACTURER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

DATE TODAY:

EXP. DATE:

THE HERITAGE GROUP

ARCHITECTURE  
CONSTRUCTION

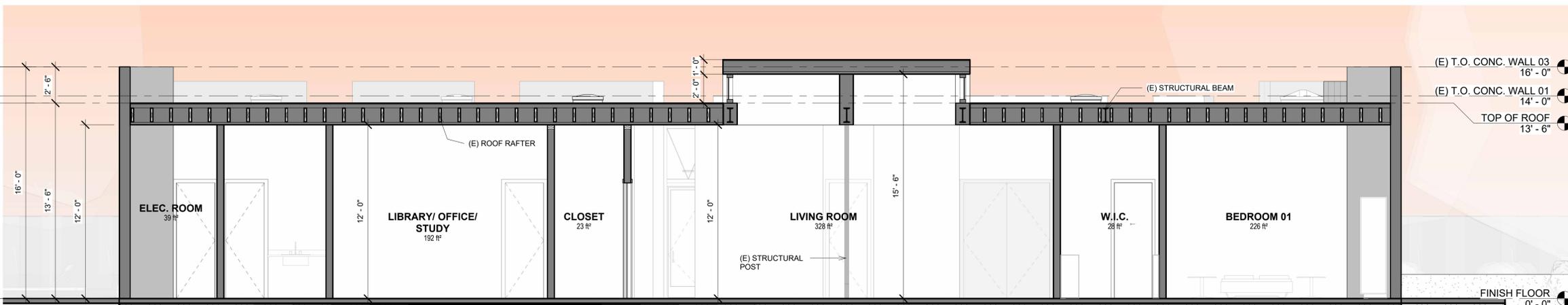
VICKY L. BARBIERI A.I.A.  
CA. LICENSE # 12380

ARCHITECTURE  
ENGINEERING  
PLANNING  
INTERIORS

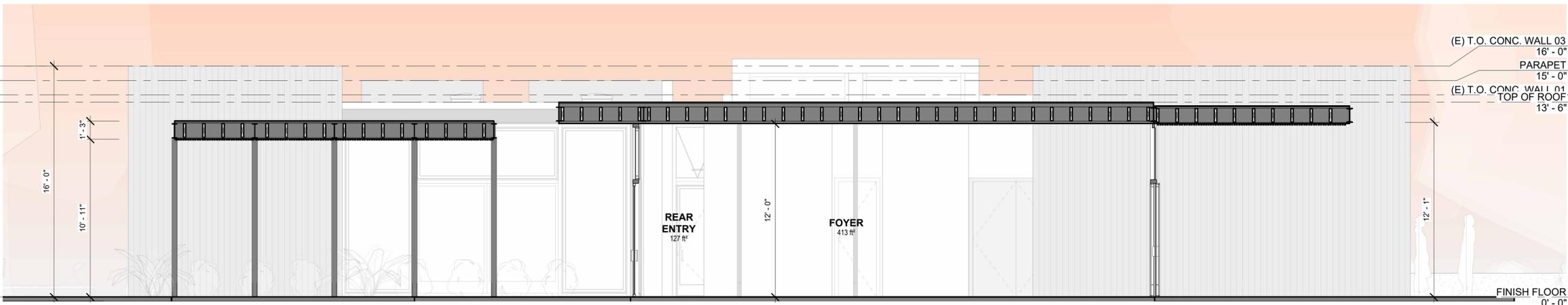
4400 W RIVERSIDE DR.  
STE. 110-888  
BURBANK, CA 91505

NOTES:

1 Proposal - Section 01  
1/4" = 1'-0"



2 Proposal - Section 02  
1/4" = 1'-0"



3 Proposal - Section 03  
1/4" = 1'-0"

PROJECT: 211 SUNRISE AVE, PALM SPRINGS CA, 92262

OWNER: PROJECT ADDRESS:

No.	Description	Date

DRAWN BY: MER

CHECKED BY: VB

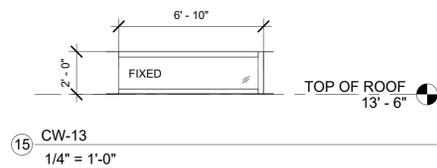
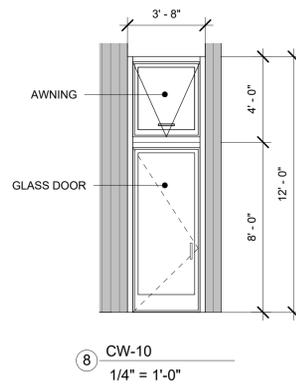
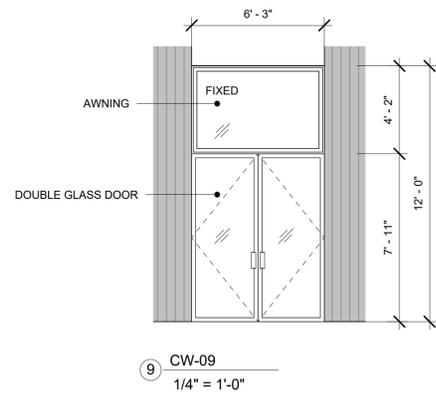
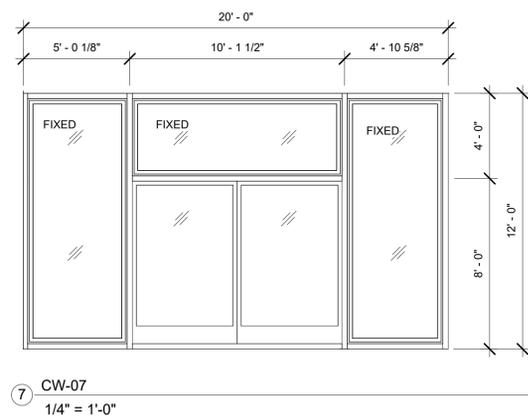
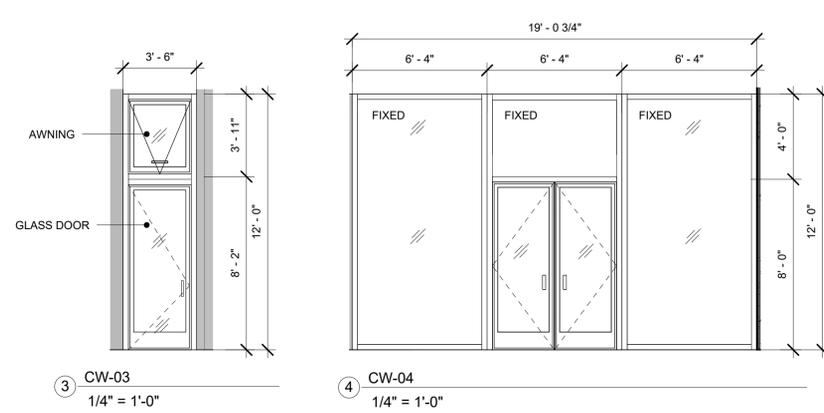
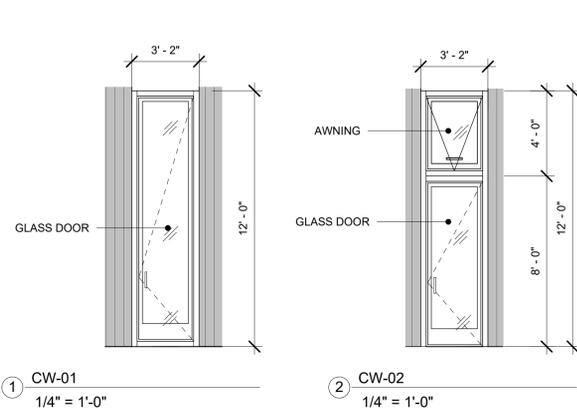
DATE: 01/28/2025

SCALE: 1/4" = 1'-0"

JOB NO. 1719

SHEET NAME: Proposal - Sections

SHEET A1.40



THE FOLLOWING WINDOW SIZES WILL BE THE MINIMUM ALLOWED FOR 5.0 SF.

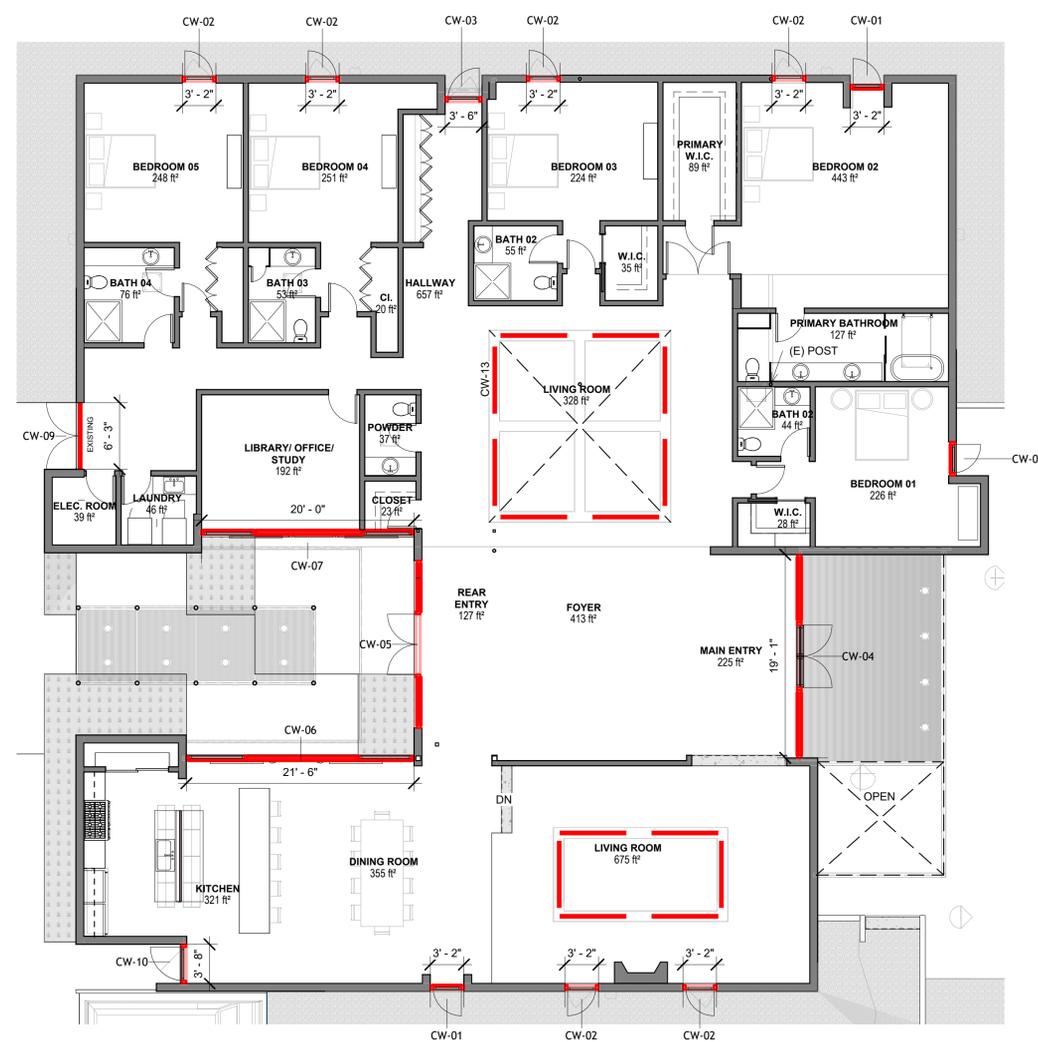
NOTE: SIZES ARE TAKEN FROM DATA SUPPLIED BY WINDOW MANUFACTURERS. HOWEVER, THESE ARE GENERAL DIMENSIONS AND MUST BE VERIFIED WITH ACTUAL WINDOWS INSTALLED TO MEET MINIMUM EGRESS REQUIREMENTS.

SINGLE CASEMENT: 2-4 X 4-0,  
2-6 X 3-6  
DOUBLE CASEMENT: 4-8 X 4-0  
CASEMENT/FIXED COMBO: 7-0 X 4-0  
OTHER WINDOW TYPES:  
AWNING & BAY W/ FIXED CENTER:  
NONE W/O MANUF. DATA

Fire Exit Code  
3/8" = 1'-0"

### WINDOWS AND DOORS BUILDING CALCULATIONS

Room Name	Room Area	Vent Calculation (8%)	Light Calculation (4%)	Windows in Room	Window Total Area	Fire Exit Req. Opening
BEDROOM 01	226 SF	18 SF	9 SF	CW-01	28 SF	1
BEDROOM 02	443 SF	35 SF	18 SF	CW-01/CW-02	55 SF	2
BEDROOM 03	224 SF	18 SF	9 SF	CW-02	27 SF	1
BEDROOM 04	251 SF	20 SF	10 SF	CW-02	27 SF	1
BEDROOM 05	248 SF	20 SF	10 SF	CW-02	27 SF	1



20 Proposal - Windows and Doors  
1/8" = 1'-0"

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED. ANY REVISIONS TO THESE PLANS SHALL BE MADE BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

DATE TODAY:

EXP. DATE:

THE HERITAGE GROUP

ARCHITECTURE  
CONSTRUCTION

VICKY L. BARBIERI A.I.A.  
CA. LICENSE # 12380

ARCHITECTURE  
ENGINEERING  
PLANNING  
INTERIORS

4400 W. RIVERSIDE DR.  
STE. 110-888  
BURBANK, CA 91505

PROJECT: 211 SUNRISE AVE,  
PALM SPRINGS CA, 92262

OWNER:

No.	Description	Date

DRAWN BY: MER  
CHECKED BY: VB  
DATE: 01/28/2025  
SCALE: As indicated  
JOB NO: 1719  
SHEET NAME: Proposal - Window and Door Schedule  
SHEET: A1.50



THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED. ANY REUSE OR MODIFICATION OF THESE PLANS WITHOUT THE WRITTEN APPROVAL OF VICKY L. BARBIERI A.I.A. IS STRICTLY PROHIBITED. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. VICKY L. BARBIERI A.I.A. ACCEPTS NO LIABILITY FOR ANY DAMAGES OR INJURIES RESULTING FROM THE USE OF THESE PLANS AND SPECIFICATIONS. ANY CHANGES AND SPECIFICATIONS SHALL BE REPORTED TO VICKY L. BARBIERI A.I.A. FOR CORRECTION BEFORE PROCEEDING. VICKY L. BARBIERI A.I.A. EXPRESSLY DISCLAIMS ANY LIABILITY FOR ANY DAMAGES OR INJURIES RESULTING FROM THE USE OF THESE PLANS AND SPECIFICATIONS. ANY CHANGES AND SPECIFICATIONS SHALL BE REPORTED TO VICKY L. BARBIERI A.I.A. FOR CORRECTION BEFORE PROCEEDING. VICKY L. BARBIERI A.I.A. ACCEPTS NO LIABILITY FOR ANY DAMAGES OR INJURIES RESULTING FROM THE USE OF THESE PLANS AND SPECIFICATIONS. ANY CHANGES AND SPECIFICATIONS SHALL BE REPORTED TO VICKY L. BARBIERI A.I.A. FOR CORRECTION BEFORE PROCEEDING.

DATE TODAY:



EXP. DATE:



VICKY L. BARBIERI A.I.A.  
CA. LICENSE # 12380

ARCHITECTURE  
ENGINEERING  
PLANNING  
INTERIORS

4400 W. RIVERSIDE DR.  
STE. 110-888  
BURBANK, CA 91505

PROJECT:  
OWNER:  
PROJECT ADDRESS:

211 SUNRISE AVE,  
PALM SPRINGS CA, 92262

No.	Description	Date

DRAWN BY: MER  
CHECKED BY: VB  
DATE: 01/28/2025  
SCALE:  
JOB NO. 1719  
SHEET NAME: Proposal - Perspectives 01

SHEET  
**A1.60**























# ATTACHMENT C

RESOLUTION NO. 25242

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PALM SPRINGS, CALIFORNIA, DESIGNATING THE GAS COMPANY BUILDING LOCATED AT 211 NORTH SUNRISE WAY, AS A CLASS 1 (LANDMARK) HISTORIC RESOURCE HSPB #158, SUBJECT TO CONDITIONS (APN 508-070-016).

THE CITY COUNCIL FINDS AND DETERMINES AS FOLLOWS:

- A. WHEREAS, Chapter 8.05 of the Palm Springs Municipal Code allows for the designation of historic sites and districts; and
- B. WHEREAS, the City of Palm Springs initiated an application, Case HSPB #158, seeking historic site designation of the Gas Company Building located at 211 N. Sunrise Way; and
- C. WHEREAS, on March 1, 2024, members of the Historic Site Preservation Board (HSPB) and City staff conducted site inspections of the proposed historic resource; and
- D. WHEREAS, on July 2, 2024, a noticed public hearing of the Palm Springs Historic Site Preservation Board to consider Case HSPB #158 was held in accordance with applicable law; and
- E. WHEREAS, at said hearing, the HSPB carefully reviewed and considered all the evidence presented in connection with the hearing on the project, including, but not limited to, the staff report and all written and oral testimony and voted unanimously to recommend that the Council designate the Gas Company Building a Class 1 (Landmark) historic resource; and
- F. WHEREAS, on July 25, 2024, a noticed public hearing of the Palm Springs City Council to consider Case HSPB #158 was held in accordance with applicable law; and
- G. WHEREAS, at the said hearing, the City Council carefully reviewed and considered all the evidence presented in connection with the hearing on the project, including, but not limited to the staff report and all written and oral testimony.

THE CITY COUNCIL OF THE CITY OF PALM SPRINGS RESOLVES:

SECTION 1: FINDINGS – PART "A", CRITERIA FOR HISTORIC RESOURCES.

Evaluation of the Application. Pursuant to Municipal Code Section 8.05.070 (C,1,a), the City Council shall evaluate the application and make findings in conformance with the following criteria:

*Criteria for the Designation of Class 1 Historic Resources. A site, structure, building or object*

may be designated as a Class 1 historic resource, provided both of the following findings (“a” and “b”) are met:

a. *The site, structure, building, or object exhibits exceptional historic significance and meets one or more of the criteria listed below:*

The property at 211 N. Sunrise Way is a significant and rare example of Brutalist architecture as a civic building in the period following World War II in Palm Springs. The building was recognized by the design community for its significance following its completion and has maintained its design and material integrity over the years. As one of Robert H. Ricciardi’s important works, the historic significance of the Gas Company Building is apparent. The building was constructed in 1969. The following is a detailed analysis of the criteria and integrity findings.

*(Criterion i) The resource is associated with events that have made a meaningful contribution to the nation, state, or community;*

While the opening of this facility is an important indicator of the city’s transformation, no singular event of significance was directly associated with this site. The site does not qualify under Criterion i.

*(Criterion ii) The resource is associated with the lives of persons who made a meaningful contribution to national, state or local history;*

The Gas Company Building was a quasi-public building that provided services to the community. The report did not uncover an individual of significance being associated to the site; therefore, Criterion ii is not met.

*(Criterion iii) The resource reflects or exemplifies a particular period of national, state, or local history;*

The construction of the Southern California Gas Company Building signaled the demand for public services and the empirical evidence that the city was experiencing growth during this time. The building features bold forms, sculptural articulation, exposed cast-in-place concrete cladding, and the integration of raised plazas. Based on these characteristics, the building at 211 N. Sunrise Way is considered a Brutalist building. Although this style of architecture is somewhat of an anomaly in Palm Springs since most of the new construction was considered Mid-century Modern, the rise of Brutalist design, especially for civic and institutional buildings, was on the rise in other cities. This means this structure is a reflection of the period at a national and state level and a rare example of this type of architecture at the local level. The property qualifies under Criterion iii.

*(Criterion iv) The resource embodies the distinctive characteristics of a type, period, or method of construction;*

Unlike the National Register criterion concerning construction, the Palm Springs evaluation of construction addresses the type (of construction), the period (of construction) and the method (of construction). It appears that the building was constructed using standard construction methods and materials and does not qualify for this criterion.

*(Criterion v) The resource presents the work of a master builder, designer, artist, or architect whose individual genius influenced his age, or that possesses high artistic value;*

The architect, Robert H. Ricciardi, is a notable figure that was active locally and recognized on the list of significant practitioners. His contributions expand beyond the city limits of Palm Springs and the report outlines his work in more detail. Ricciardi moved to Palm Springs in 1959 and worked and trained with the local masters like William Cody and Donald Wexler. He later goes on and partners with architect Hugh Kaptur during the 1960s. His portfolio of work includes many civic and commercial buildings, and the report notes that Ricciardi received an AIA award for the design of the Gas Company Building. Ricciardi's 50+ years in the field has influenced the field and his peers, and the Gas Company Building possesses high artistic value, thus Criterion v is met.

*(Criterion vi) The resource represents a significant and distinguishable entity whose components may lack individual distinction, as used in evaluating applications for designation of historic districts, for parcels on which more than one entity exists; or*

The resource is not within a historic district and does not qualify under Criterion vi.

*(Criterion vii) The resource has yielded or may be likely to yield information important to national, state or local history or prehistory.*

No information has been provided on any pre-historic significance of the site.

## SECTION 2: PART "B" ANALYSIS OF HISTORIC INTEGRITY.

*Analysis of Integrity. (PSMC 8.05.070 (C,1,b). The site, structure, building, or object retains one or more of the following aspects of integrity, as established in the Secretary of the Interior's Standards: integrity of design, materials, workmanship, location, setting, feeling, or association.*

The report provides an evaluation of the site relative to the seven aspects or qualities of historic integrity, as recognized by the National Register of Historic Places. The seven aspects or qualities include location, design, setting, materials, workmanship, feeling, and association. The report concludes that the site retains a high degree of integrity and is further analyzed below:

### *1. Location:*

The resource remains in its original location of construction, therefore, retains its integrity of location.

*2. Design:*

The building has a simple layout of geometric volumes and articulated forms create a unique spatial experience. The vertical concrete elements on the façade contribute to the vibrancy of the design and the scale, while modest, maintains a presence. There is no frivolous ornamentation applied to the surfaces of the exterior walls and the voids between the volumes are used to insert openings for light and air. While the building has been altered in certain locations like the south façade to incorporate accessibility upgrades, the overall mass, scale, and materials are uniform and intact. The integrity of the original design has been preserved.

*3. Setting:*

The building remains in its original location at the corner of Sunrise and Andreas but the report aptly points out the changes in development pattern surrounding the area since the 1960s. The infill projects now include a number of residential projects based on the underlying zoning and allowable uses. The continued changes surrounding the site have resulted in the loss of integrity of setting.

*4. Materials:*

The steel frame building and the cast-in-place concrete exterior with vertical grooves created by the formwork reveal an elegant design that is consistently viewed on the exterior. Windows and openings are minimal and elongated to match the vocabulary of the architectural style. Currently, the broken windows have been boarded up, but the openings remain intact. The integrity of materials is met.

*5. Workmanship:*

While conventional construction methods may have been used to build, the cast-in-place concrete walls use of formwork to create the individual vertical grooves exhibit a specialized level of workmanship and attention to detail. The property as it stands exhibits craft and high-quality workmanship. The integrity of workmanship is met.

*6. Feeling:*

The bold yet small-scale Brutalist structure holds its allure at the corner of Andreas Road and Sunrise Way. The physical features of the building remain virtually unchanged and clearly demonstrate the feeling associated with civic architecture and how it was expressed during that period. The integrity of feeling is intact.

### *7. Association:*

The property is associated with the architect Robert H. Ricciardi and this building is considered one of his more significant and well-received projects. The high level of design and material integrity affirms the building's strong association to the architect's vision and the period in which it was constructed. The integrity of association is met.

## SECTION 3: DEFINING HISTORIC CHARACTERISTICS

In considering a recommendation for historic resource designation it is important to distinguish those physical elements that are original or from the period of significance that contribute to the resource's historic significance from alterations, additions or features that were added at a later time that may be sympathetic to the original character, but which may create a false sense of historicity. Distinguishing original character-defining features from non-original elements aids the HSPB when it is tasked with evaluating future alterations to the historic resource.

The following is a list of character-defining features identified by the City Council:

### Character-defining features of the resource are as follows:

- Location at northwest corner of N. Sunrise Way and E. Andreas Road
- Orientation of primary façade east toward N. Sunrise Way
- Low (one-story) scale
- Irregular plan with courtyard space at the west façade
- Blocky geometric massing, with asymmetrical primary façade
- Flat roof with flat parapet
- Cast-in-place concrete walls with textured broken edge detail along the vertical grooves
- Primary entry fronted by wide, open concrete patio with broad concrete entry steps
- Recessed primary entry with floor to ceiling glazed entry assembly with fully glazed metal double doors
- Cantilevered steel entry canopy with wood slat underside and open steel frame extension to south
- Recessed and narrow floor-to-ceiling metal windows with solar-tinted glazing
- Integrated concrete planters along the east and south facades
- Integrated concrete box sign base at east façade
- Five free-standing original light fixtures located at one of the east façade planters

### Non-contributing elements:

- Walkway and accessible curb ramp at the west façade and accessibility ramp and railings on the south façade
- Fall protection hand railings along the roof
- Mechanical equipment penthouse with corrugated metal screening on the roof

## SECTION 4: ENVIRONMENTAL ASSESSMENT

The proposed historic resource designation is not subject to the California Environmental Quality Act (CEQA) pursuant to Sections 15060(c)(2) (the activity will not result in a direct or reasonably foreseeable indirect physical change in the environment) and 15060(c)(3) (the activity is not a project as defined in Section 15378) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential for resulting in physical changes to the environment, directly or indirectly.

SECTION 5: CONDITIONS THAT APPLY TO HISTORIC SITES:

According to Section 8.05 of the Municipal Code, the following shall apply to a Class 1 Historic Resource:

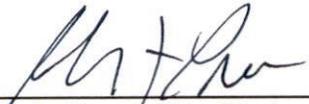
1. It shall meet the definition of a Class 1 historic site as outlined in Municipal Code Section 8.05.020.
2. An archival file on the property shall be maintained by the City.
3. It may be qualified as 'historic' at the federal, state, and/or county level.
4. The structure/site may not be modified, nor objects removed without following the procedures outlined in Municipal Code Section 8.05.110 "Demolition or Alteration of Class 1 and Class 2 Historic Resources – Certificate of Appropriateness".
5. A marker explaining the historic nature of the site may be installed at the site in a location viewable from the public way.
6. Compliance with all rules and regulations for Historic Sites and Historic Districts under Chapter 8.05 of the Municipal Code shall be required.
7. The site shall not be further subdivided.
8. The City Clerk shall submit the Council Resolution to the County recorder for recordation within 90 days of the effective date of the Council's resolution.

Based upon the foregoing, the City Council hereby designates the Gas Company Building located at 211 North Sunrise Way, a Class 1 (Landmark) Historic Resource (Case HSPB #158).

ADOPTED THIS TWENTY-FIFTH DAY OF JULY, 2024.

  
\_\_\_\_\_  
Scott C. Stiles, City Manager

ATTEST:

  
\_\_\_\_\_  
Brenda Pree, City Clerk

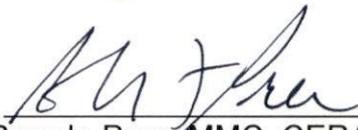
CERTIFICATION

STATE OF CALIFORNIA )  
COUNTY OF RIVERSIDE ) ss.  
CITY OF PALM SPRINGS )

I, BRENDA PREE, City Clerk of the City of Palm Springs, hereby certify that Resolution No.25242 is a full, true and correct copy, and was duly adopted at a regular meeting of the City Council of the City of Palm Springs on July 25, 2024 by the following vote:

AYES: Councilmembers Garner, Holstege, Middleton, Mayor Pro Tem deHarte, and Mayor Bernstein  
NOES: None  
ABSENT: None  
ABSTAIN: None

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Palm Springs, California, this 5th day of August 2024.

  
\_\_\_\_\_  
Brenda Pree, MMC, CERA, City Clerk  
City of Palm Springs, California

# ATTACHMENT D

# AGUA CALIENTE BAND OF CAHUILLA INDIANS

TRIBAL HISTORIC PRESERVATION



03-004-2024-008

January 02, 2025

[VIA EMAIL TO: Sarah.Yoon@palmspringsca.gov]  
City of Palm Springs  
Ms. Sarah Yoon  
3200 E. Tahquitz Canyon Way  
Palm Springs, CA 92262

## **Re: 211 N. Sunrise Way**

Dear Ms. Sarah Yoon,

The Agua Caliente Band of Cahuilla Indians (ACBCI) appreciates your efforts to include the Tribal Historic Preservation Office (THPO) in the 211 N Sunrise Way project. We have reviewed the documents and have the following comments:

\*At this time ACBCI has no comments, but please continue to provide our office with updates as the project progresses. Also, please inform our office if there are changes to the scope of this project.

Again, the Agua Caliente appreciates your interest in our cultural heritage. If you have questions or require additional information, please call me at (760)699-6956. You may also email me at ACBCI-THPO@aguacaliente.net.

Cordially,

Lacy Padilla  
Director of Historic Preservation  
Tribal Historic Preservation Office  
AGUA CALIENTE BAND  
OF CAHUILLA INDIANS